

1 COVER SHEET/SITE PLAN
2 FRONT/REAR SIDE ELEVATIONS
3 LEFT SIDE ELEVATIONS
4 RIGHT SIDE ELEVATION
5 FOUNDATION PLAN
6 FIRST FLOOR PLAN
7 SECOND FLOOR PLAN

* THE ARCHITECT'S SEAL AND CERTIFICATION APPLIES TO ALL SHEETS OF THE DRAWING INDEX, 1-12

8 THIRD FLOOR PLAN
9 ELECTRIC FIRST FLOOR PLAN
10 ELECTRIC SECOND FLOOR PLAN
11 FINISH BASEMENT PLAN
12 DETAILS & SCHEDULES

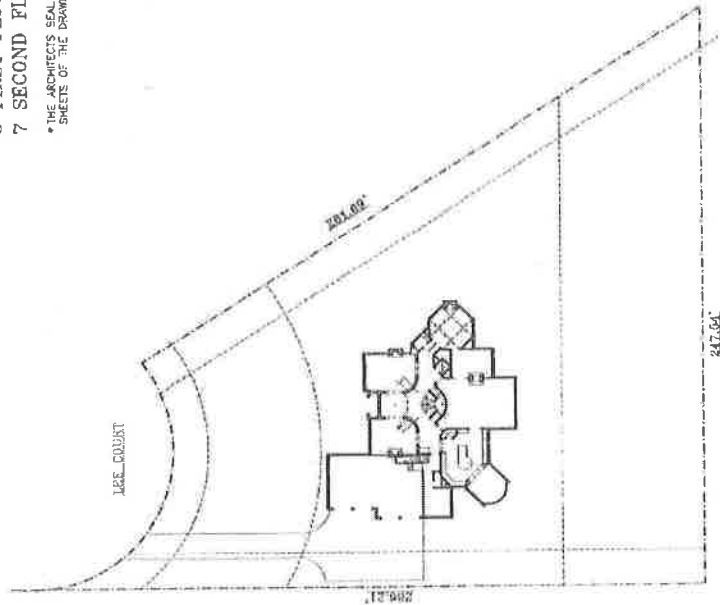
| ACTUAL LOAD | DESIGN LOAD | DESIGN FACTOR |
|-----------------|-------------|---------------|
| Shim Load | 62 PSF | 1.40 |
| Frame Load | 48 PSF | 1.35 |
| Interior + Deck | 101 PSF | 1.20 |
| Roof Load | 20 PSF | 1.40 |
| Grav. Load | 20 PSF | 1.40 |
| Wind Load | 20 PSF | 1.40 |
| Utility Load | 20 PSF | 1.40 |
| etc. | 60 PSF | 1.20 |
| Sum | 310 PSF | |

[illegible][illegible]

1. The first step is to identify the problem. In this case, the problem is that the company is not meeting its sales targets.

SCALE: 1" = 20'-0"

EXHIBIT
A

[illegible]

1. The first step is to identify the problem. This involves understanding the symptoms and the context in which they are occurring.

to ensure and maintain that our members' health and safety is always the top priority. We have a number of measures in place to ensure that our members are always safe and healthy. We have a dedicated team of health and safety professionals who are responsible for ensuring that our members are always safe and healthy. We have a number of measures in place to ensure that our members are always safe and healthy. We have a dedicated team of health and safety professionals who are responsible for ensuring that our members are always safe and healthy.

1. *What is the purpose of the study?*
 2. *What are the research objectives?*
 3. *What is the research design?*
 4. *What are the variables?*
 5. *What are the hypotheses?*
 6. *What are the results?*
 7. *What are the conclusions?*
 8. *What are the implications?*
 9. *What are the limitations?*
 10. *What are the future research directions?*

I HAD TO TELL THEM THAT THESE PLANS WERE REJECTED BY THE UNITED STATES GOVERNMENT, THAT IT WAS AGAINST THE CONSTITUTION AND I SAID THAT I WAS NOT A MEMBER OF THE KKK AND THAT THE NEWS PAPER COULD NOT PRINT ANYTHING ABOUT ME OR MY ORGANIZATION.

**RAM
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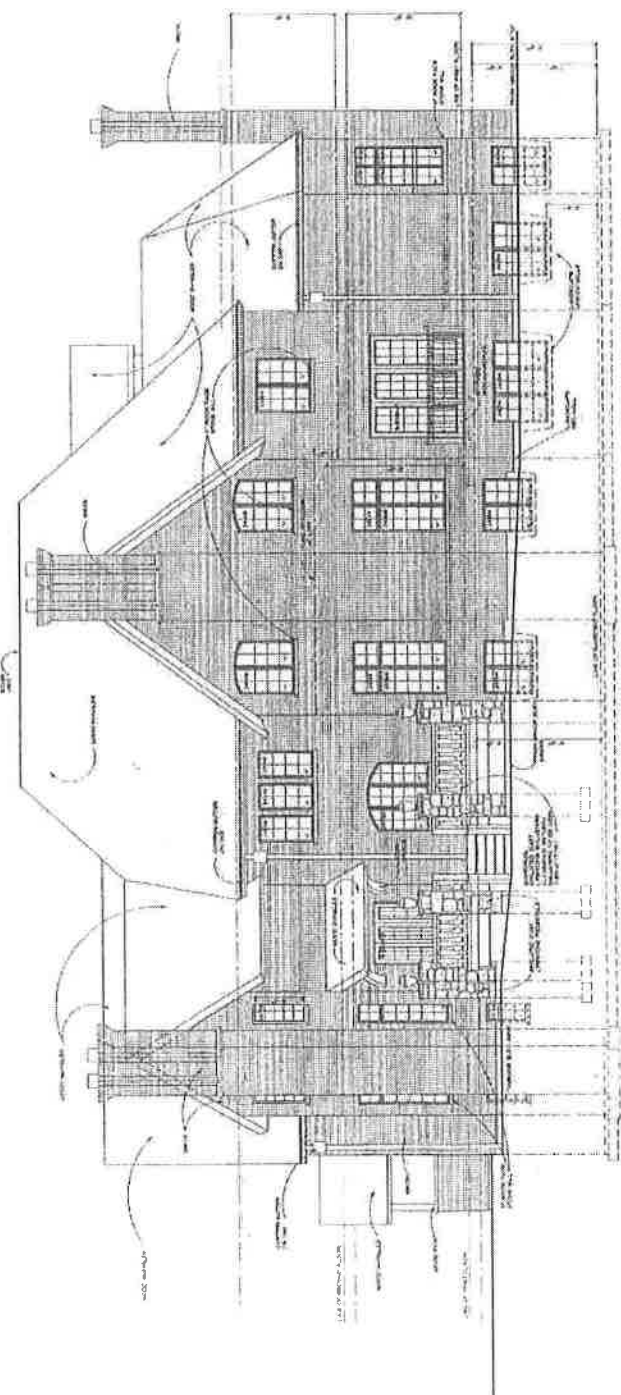
KAY BUILDERS
6678 LEE COURT
LOT 4
BURR RIDGE, ILL.

KAY BUILDERS
6678 LEE COURT
LOT 4
BURR RIDGE, ILL.

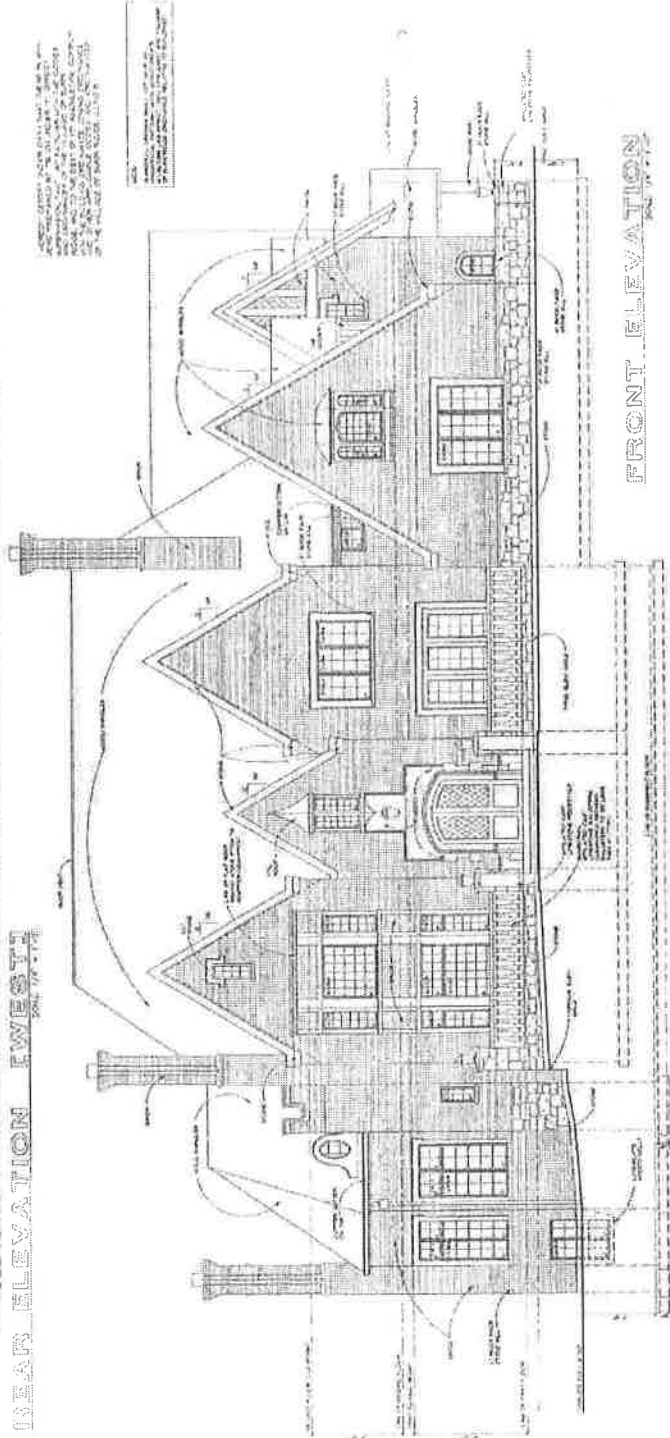
PLAN
1/8" = 1'-0"

| | |
|----|--------------|
| 1 | 1/8" = 1'-0" |
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| 11 | 1/8" = 1'-0" |
| 12 | 1/8" = 1'-0" |

2 OF 12



REAR ELEVATION



FRONT ELEVATION



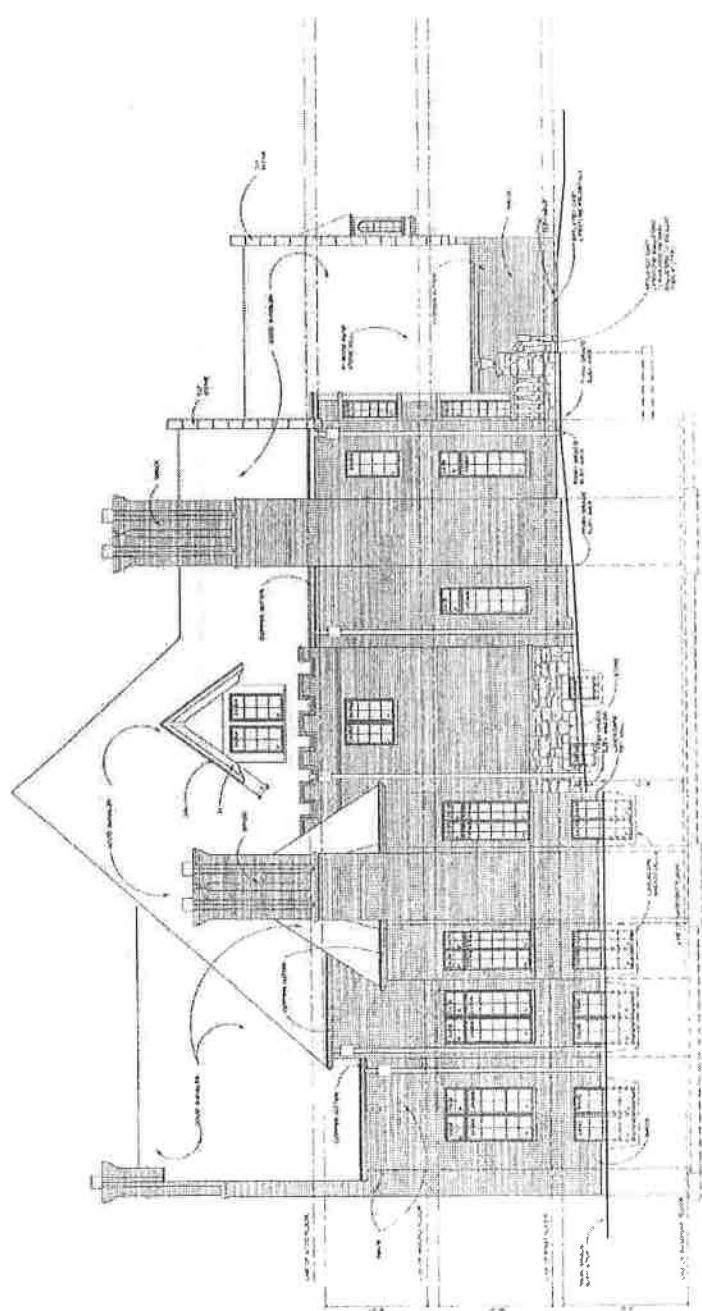
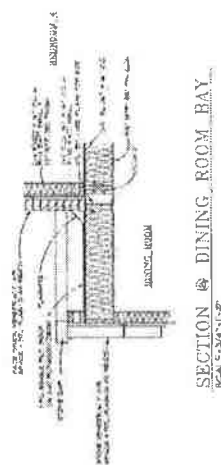
R. E. MITCHELL
ASSOCIATES
ARCHITECTS

KAY BUILDERS
LOT 4
6679 LEE COURT
BURR RIDGE, ILL.

DATE: 10/10/15
BY: JEM

| NO. | DESCRIPTION | DATE |
|-----|-------------|----------|
| 1 | FOR REVIEW | 10/10/15 |
| 2 | FOR REVIEW | 10/10/15 |
| 3 | FOR REVIEW | 10/10/15 |
| 4 | FOR REVIEW | 10/10/15 |
| 5 | FOR REVIEW | 10/10/15 |
| 6 | FOR REVIEW | 10/10/15 |
| 7 | FOR REVIEW | 10/10/15 |
| 8 | FOR REVIEW | 10/10/15 |
| 9 | FOR REVIEW | 10/10/15 |
| 10 | FOR REVIEW | 10/10/15 |

SHEET
3 OF 12



LEFT SIDE ELEVATION

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 IBC.
2. ALL MATERIALS SHALL BE OF QUALITY.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 IBC.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 IBC.
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NOTES:
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2. ALL MATERIALS SHALL BE OF QUALITY.
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10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 IBC.



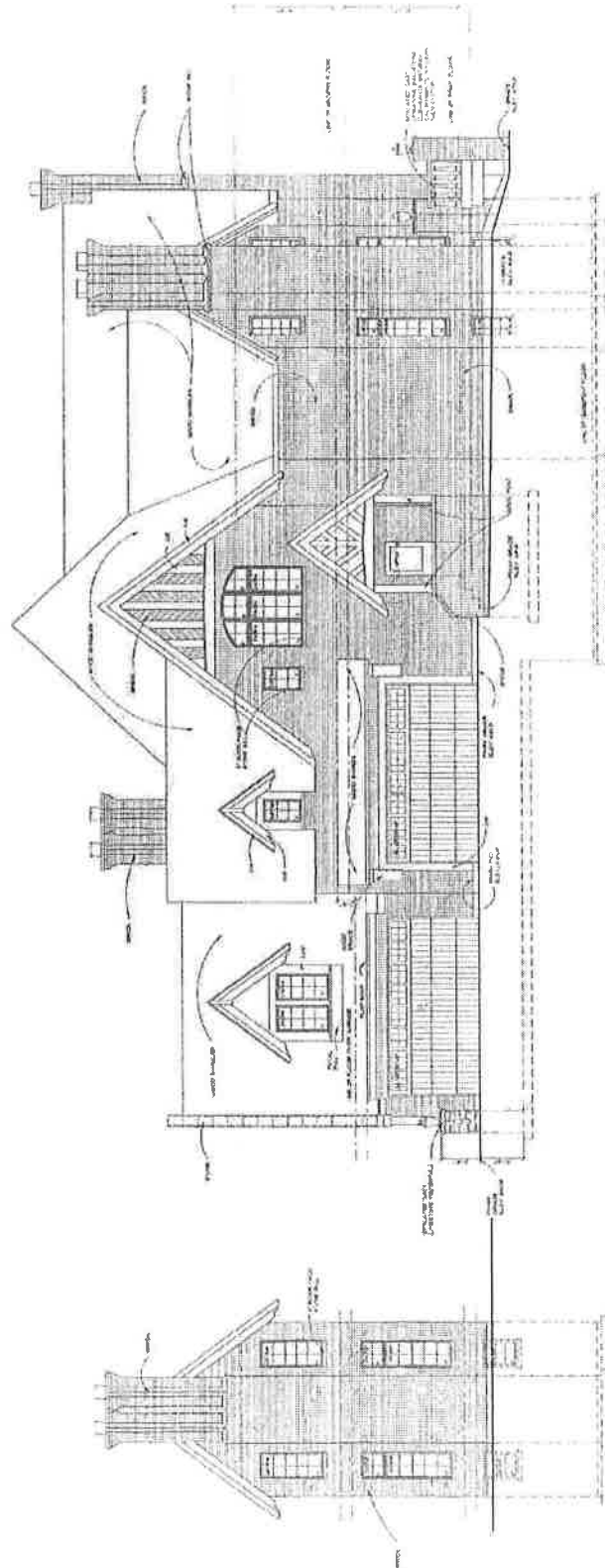
RAM
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RAM

KAY BUILDERS
LOT 4
6679 LEE COURT
BURRIDGE

DATE: 01/12/16
BY: [Signature]

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| NO. | DATE | DESCRIPTION |
| 1 | 01/12/16 | Initial Design |
| 2 | 01/12/16 | Revised Design |
| 3 | 01/12/16 | Final Design |

4 OF 12



RIGHT SIDE ELEVATION NORTH

FRONT FROM ELEVATION

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL MATERIALS ARE TO BE OF THE BEST QUALITY.
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL MATERIALS ARE TO BE OF THE BEST QUALITY.
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.



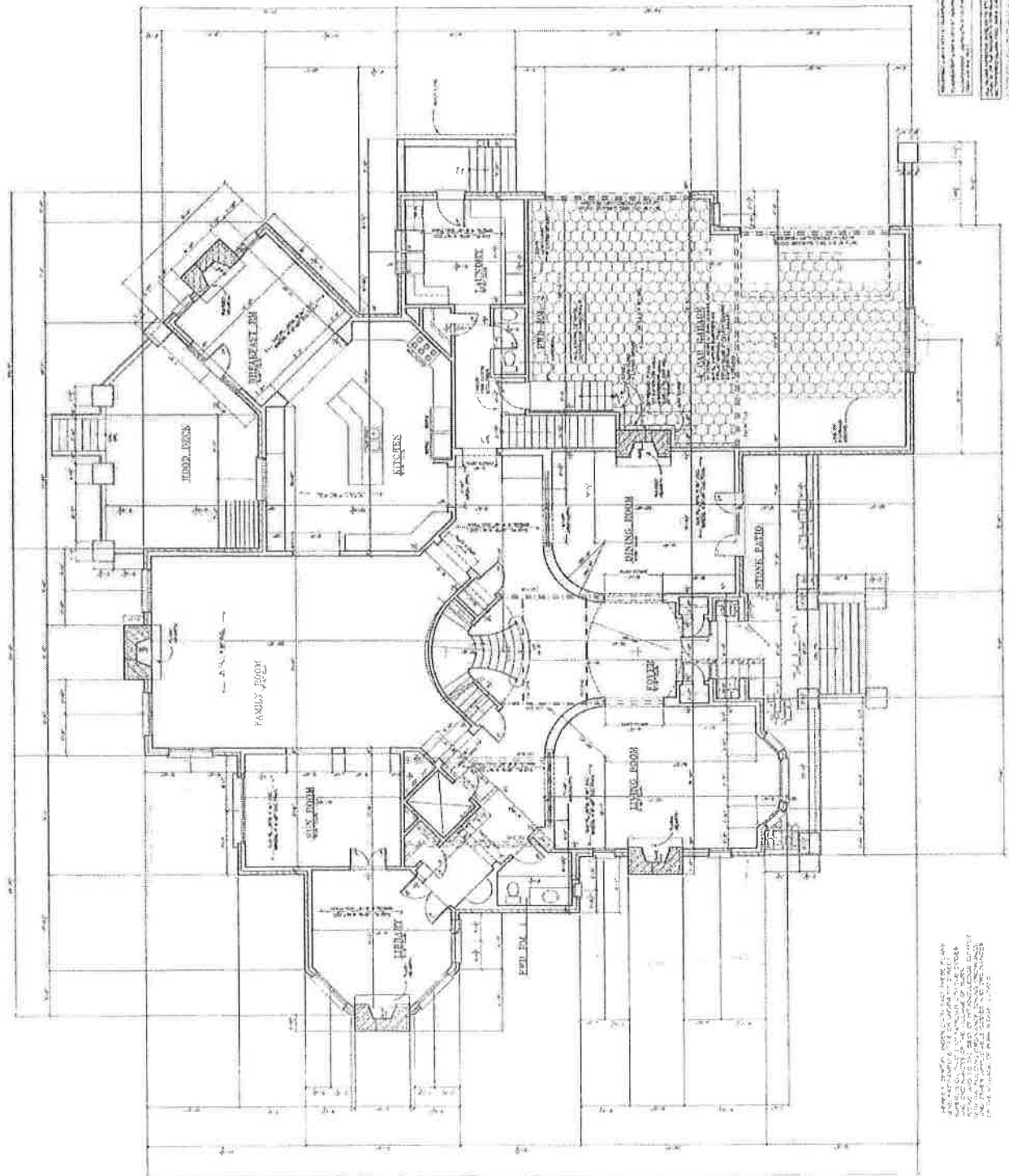
KAY BUILDERS
6679 LEE COURT
LOT 4
BURR RIDGE, ILL.

KAY BUILDERS
6679 LEE COURT
LOT 4
BURR RIDGE, ILL.

DATE: 10/15/15
BY: [Signature]

| | | |
|-----|----------|-------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 10/15/15 | ISSUED FOR PERMIT |
| 2 | 10/15/15 | REVISIONS |

6 OF 12



FRONT FLOOR PLAN

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE DETERMINED BY THE OWNER.
3. SEE SEPARATE SHEETS FOR DETAILS AND SCHEDULES.



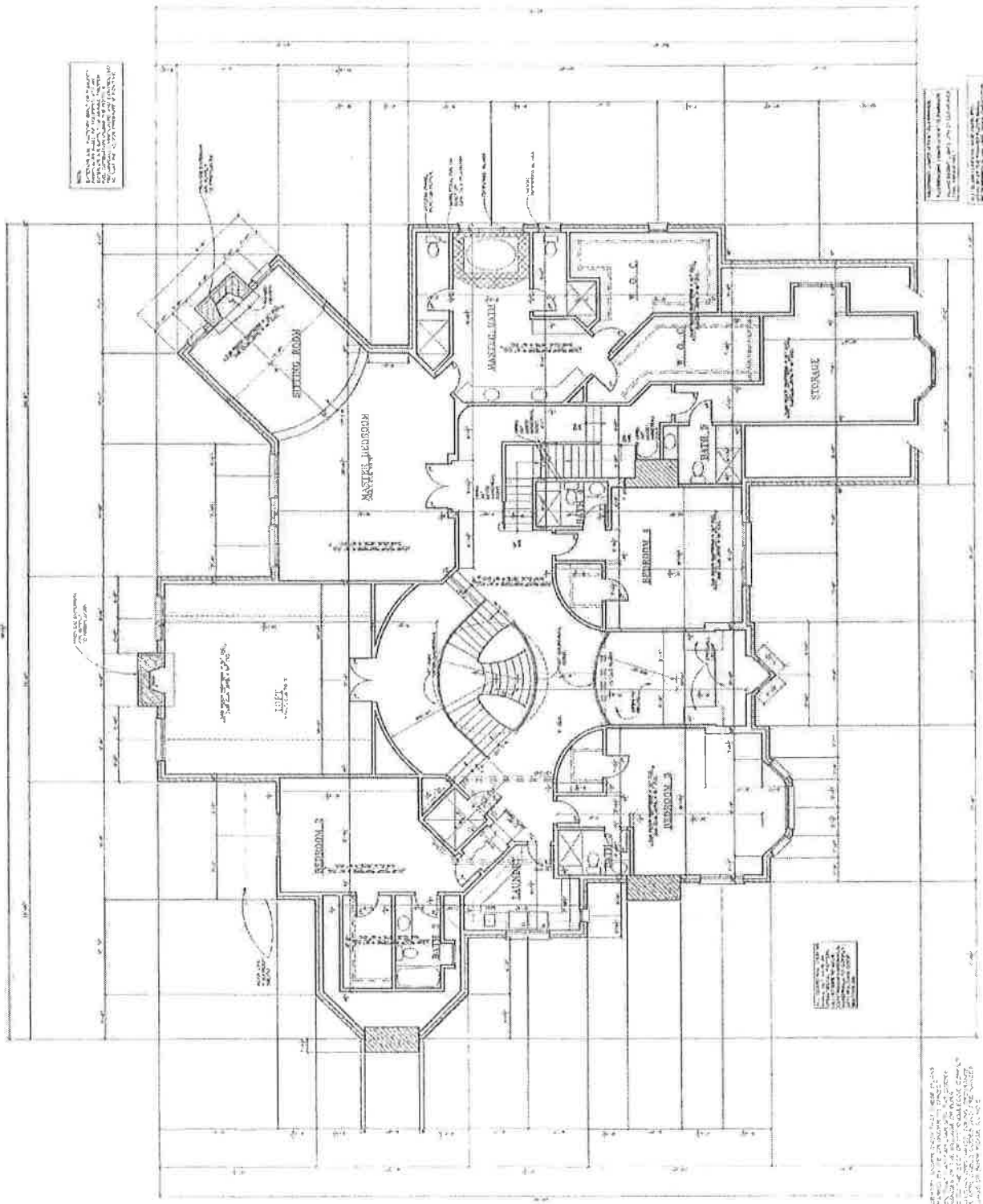
RAM BUILDERS
 6679 LEE COURT
 BURR RIDGE, ILL.
 60547

KAY BUILDERS
 6679 LEE COURT
 BURR RIDGE, ILL.
 60547

DATE: 01/12/16
JOB NO.:

| NO. | REVISION | DATE |
|-----|-------------------|----------|
| 1 | ISSUED FOR PERMIT | 01/12/16 |

7 OF 12



SECOND FLOOR PLAN

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE DETERMINED BY OWNER.
 3. SEE SCHEDULE FOR MATERIALS AND METHODS.

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE DETERMINED BY OWNER.
 3. SEE SCHEDULE FOR MATERIALS AND METHODS.

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE DETERMINED BY OWNER.
 3. SEE SCHEDULE FOR MATERIALS AND METHODS.

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE DETERMINED BY OWNER.
 3. SEE SCHEDULE FOR MATERIALS AND METHODS.



**R.A. MISTON
ASSOCIATES**
ARCHITECTS AND INTERIORS
1000 N. LAKE AVENUE, SUITE 100
CHICAGO, IL 60611
TEL: 312.467.1000
WWW.RAMISTON.COM

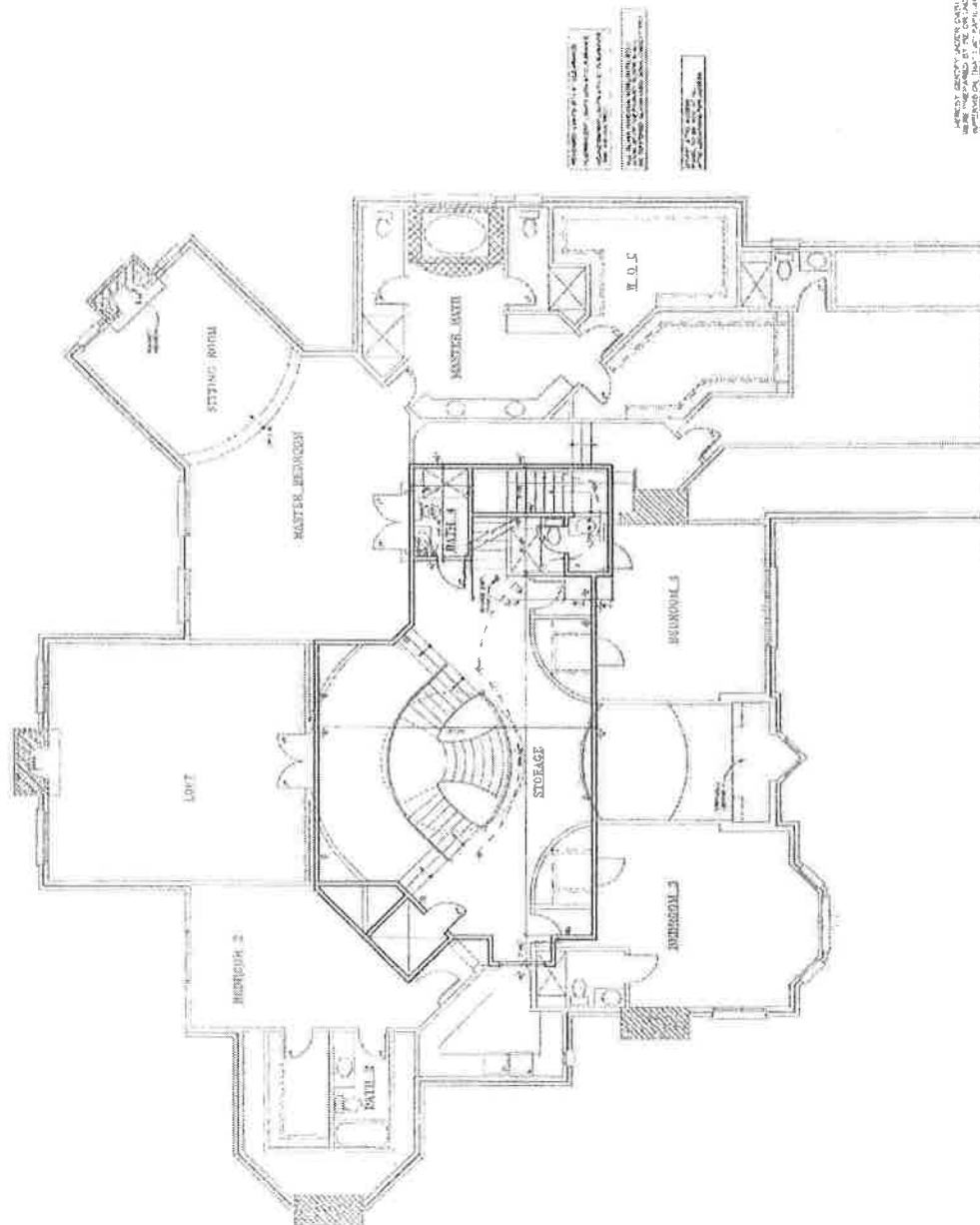
KAY BUILDERS
LOT 4,
6679 LEE COURT
BURN RIDGE, ILL.

DATE: AUG 2, 2012
A20-00

| NO. | REVISION | DATE | BY | CHKD. |
|-----|-------------------------|--------|-----|-------|
| 1 | ISSUED FOR PERMIT | 7/1/12 | RAM | RAM |
| 2 | ISSUED FOR CONSTRUCTION | 7/1/12 | RAM | RAM |

8 OF 12

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.
4. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
6. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES.
7. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE.



FLOOR PLAN



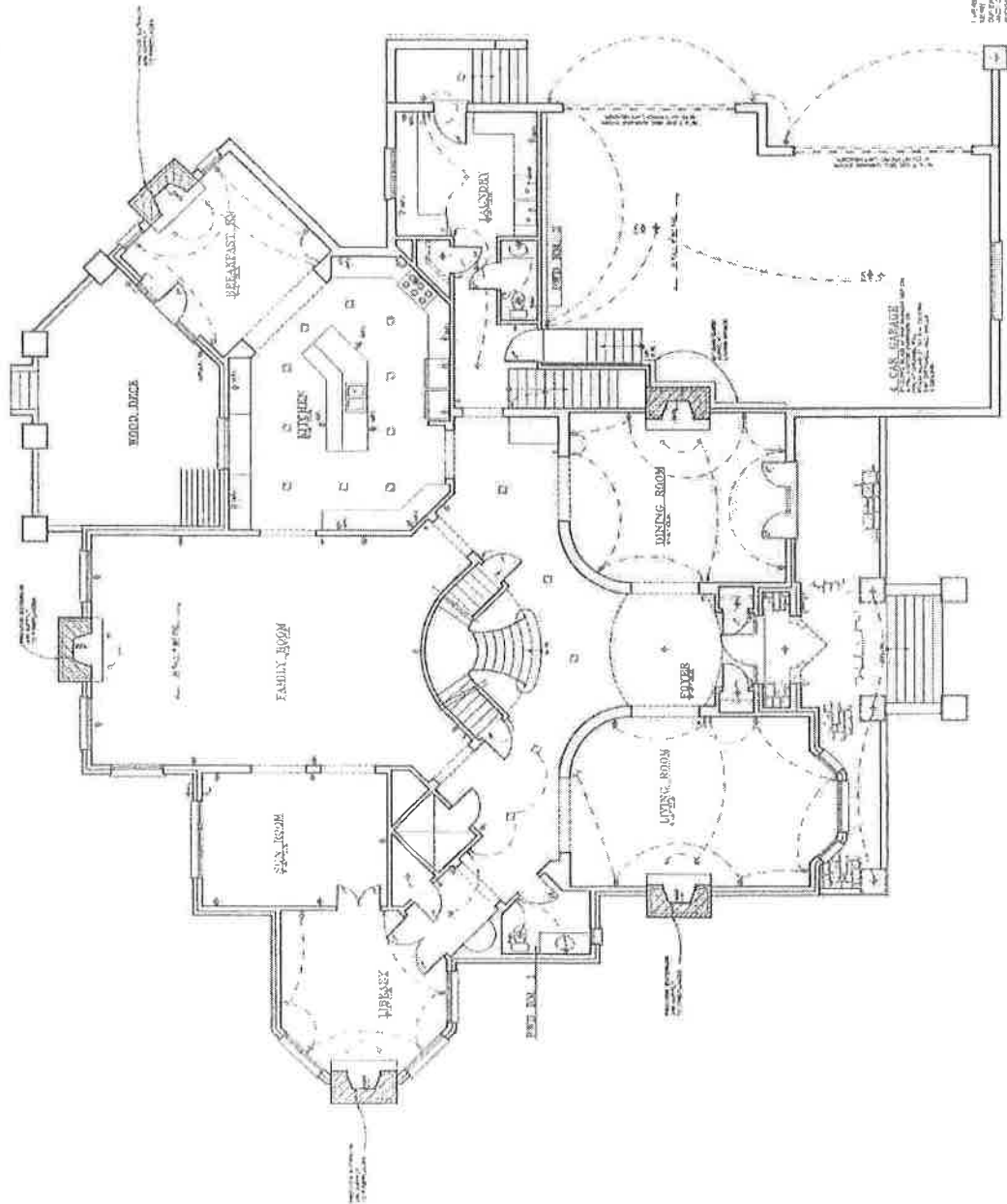
KAY BUILDERS
6679 LEE COURT
BURR RIDGE, IL 60089
TEL: 708.441.1111
WWW.KAYBUILDERS.COM

KAY BUILDERS
LOT 4
6679 LEE COURT
BURR RIDGE

DATE: 10/12/15
BY: [Signature]

| NO. | REVISION | DATE |
|-----|-------------------|----------|
| 1 | ISSUED FOR PERMIT | 10/12/15 |

9 OF 12



1. ALL ROOMS SHOWN ON THIS PLAN HAVE BEEN MEASURED AND VERIFIED BY THE ARCHITECT. THE ARCHITECT HAS NO LIABILITY FOR ANY DISCREPANCIES BETWEEN THE MEASUREMENTS SHOWN ON THIS PLAN AND THE ACTUAL MEASUREMENTS OF THE PROPERTY. THE ARCHITECT HAS NO LIABILITY FOR ANY DISCREPANCIES BETWEEN THE MEASUREMENTS SHOWN ON THIS PLAN AND THE ACTUAL MEASUREMENTS OF THE PROPERTY.

REVISION: 10/12/15



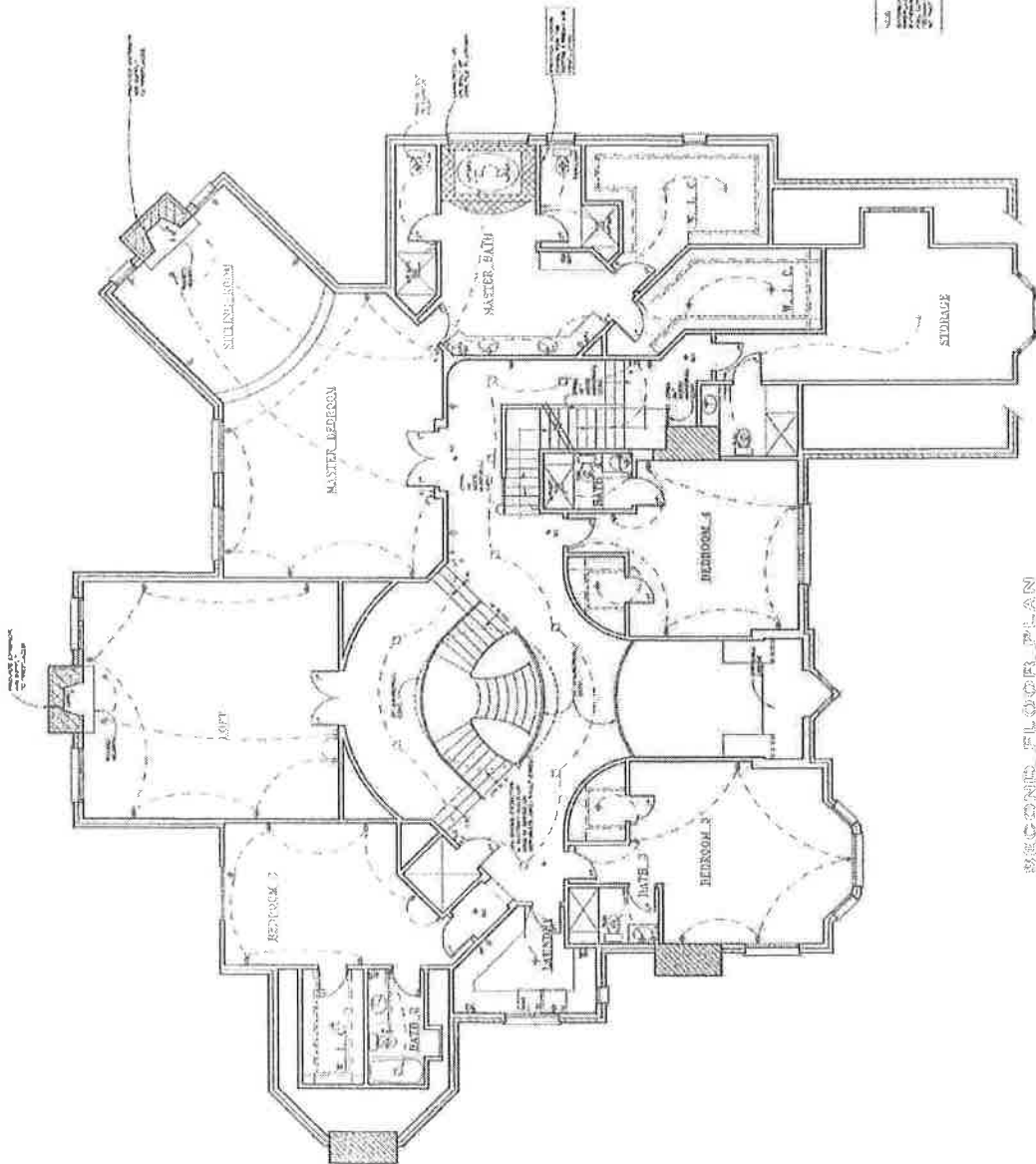
SAUTER
ASSOCIATES
ARCHITECTS AND INTERIORS
1000 N. LAKE DRIVE, SUITE 100
NAPERVILLE, IL 60563
TEL: 630.222.1234 FAX: 630.222.1235

KAY BUILDERS
LOT 4
6679 LEE COURT
BURR RIDGE, ILL.

DATE: JUNE 1, 2014
JOB NO.

| | | |
|-----|--------|-------------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 6/1/14 | ISSUED FOR PERMIT |
| 2 | 6/1/14 | ISSUED FOR CONSTRUCTION |
| 3 | 6/1/14 | ISSUED FOR RECORD |

10 OF 12



SECOND FLOOR PLAN

NOTES:
1. ALL ROOMS TO BE FINISHED TO MATCH FIRST FLOOR.
2. ALL WALLS TO BE FINISHED TO MATCH FIRST FLOOR.
3. ALL FLOORS TO BE FINISHED TO MATCH FIRST FLOOR.
4. ALL CEILINGS TO BE FINISHED TO MATCH FIRST FLOOR.
5. ALL LIGHTS TO BE FINISHED TO MATCH FIRST FLOOR.
6. ALL DOORS TO BE FINISHED TO MATCH FIRST FLOOR.
7. ALL WINDOWS TO BE FINISHED TO MATCH FIRST FLOOR.
8. ALL STAIRS TO BE FINISHED TO MATCH FIRST FLOOR.
9. ALL BATHS TO BE FINISHED TO MATCH FIRST FLOOR.
10. ALL CLOSETS TO BE FINISHED TO MATCH FIRST FLOOR.

REVISIONS:
1. ALL ROOMS TO BE FINISHED TO MATCH FIRST FLOOR.
2. ALL WALLS TO BE FINISHED TO MATCH FIRST FLOOR.
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9. ALL BATHS TO BE FINISHED TO MATCH FIRST FLOOR.
10. ALL CLOSETS TO BE FINISHED TO MATCH FIRST FLOOR.



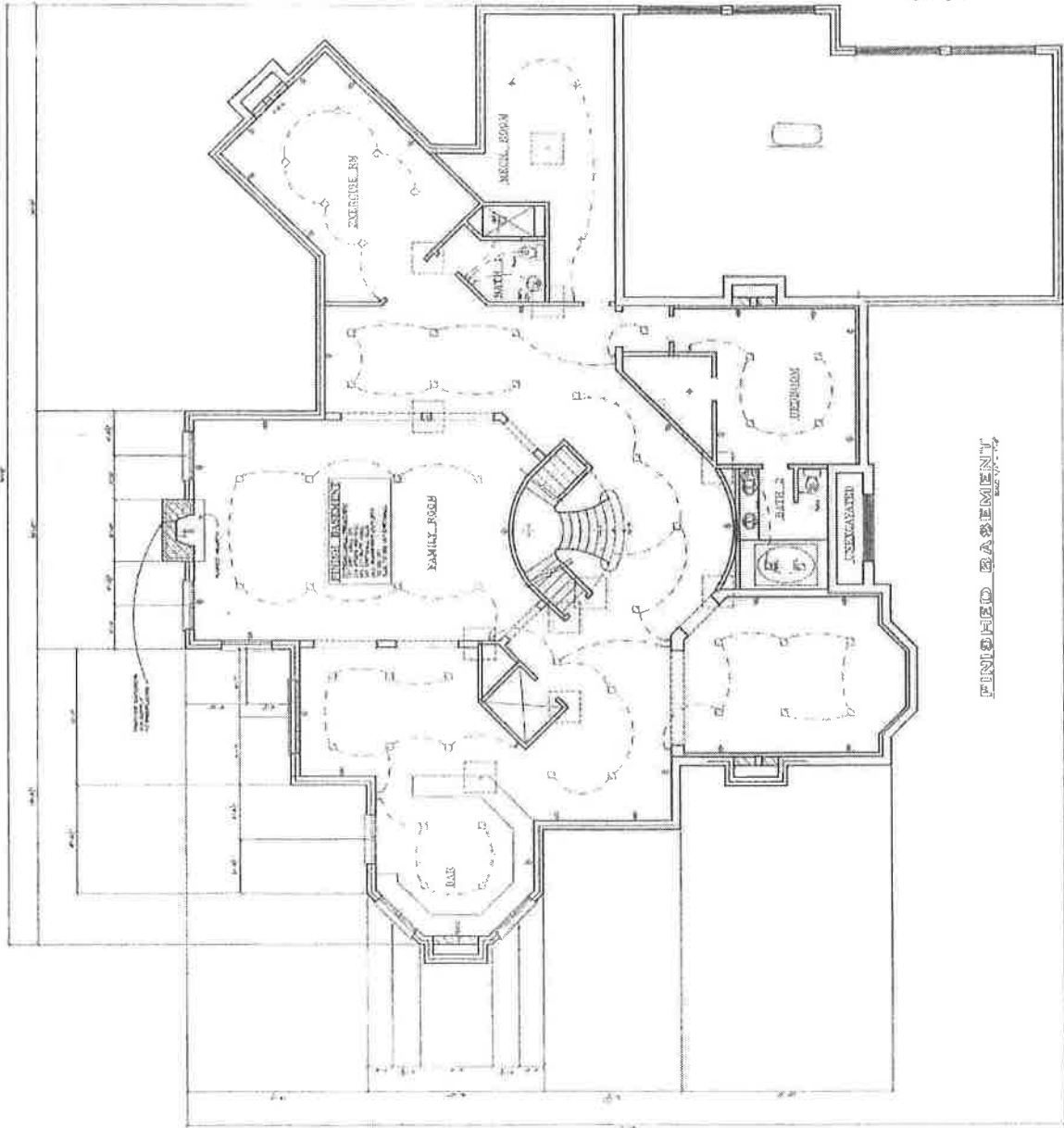
RA VIN
ASSENATES
10/1/15

KAY BUILDERS
LOT 4
6678 LEE COURT
BURR RIDGE, ILL.

10/1/15

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| DATE | 10/1/15 |
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| REVISION | |
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11 OF 12



1. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR. 2. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR. 3. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR. 4. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR. 5. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR. 6. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR. 7. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR. 8. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR. 9. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR. 10. ALL ROOMS SHALL BE FINISHED TO THE TOP OF THE FINISH FLOOR.

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PARENTE RESIDENCE

KAY BUILDERS

DRAWING INDEX *

- 1 COVER SHEET/SITE PLAN
- 2 FRONT ELEVATION
- 3 LEFT SIDE ELEVATION
- 4 REAR ELEVATION
- 5 PARTIAL REAR ELEVATIONS
- 6 RIGHT SIDE ELEVATIONS
- 7 FIRST FLOOR PLAN
- 8 SECOND FLOOR PLAN
- 9 FOUNDATION PLAN

* THE ARCHITECTS SEAL AND CERTIFICATION APPLIES TO ALL SHEETS OF THIS DRAWING. NOEX. 1-16

- 10 FINISH BASEMENT PLAN
- 11 RAISED DECK PLANS
- 12 ROOF/ATTIC PLAN
- 13 ELECTRIC FIRST FLOOR PLAN
- 14 ELECTRIC SECOND FLOOR PLAN
- 15 WALL SECTIONS
- 16 DETAILS & SCHEDULES

GENERAL SPECIFICATIONS

FINISHES
All interior walls, ceilings and floors shall be finished in accordance with the following:
Walls: 1/2" gypsum board, joint compound, sand and prime, then paint.
Ceilings: 5/8" acoustic tile, 1" x 6" grid.
Floors: 3/4" solid pine flooring, 1" x 6" solid pine joists, 4" x 6" solid pine stringers, 1/2" solid pine subfloor, 1/2" solid pine underlayment, 1/2" solid pine sheathing, 1/2" solid pine trim.

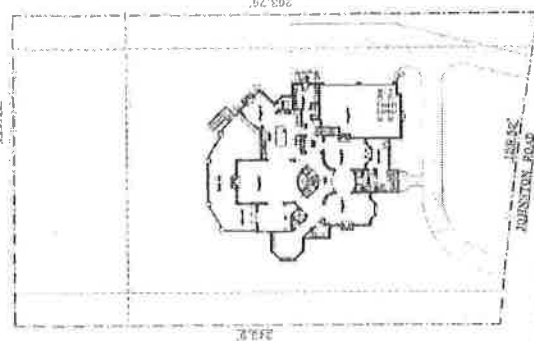
PAINTS
All interior walls, ceilings and floors shall be painted in accordance with the following:
Walls: 1/2" gypsum board, joint compound, sand and prime, then paint.
Ceilings: 5/8" acoustic tile, 1" x 6" grid.
Floors: 3/4" solid pine flooring, 1" x 6" solid pine joists, 4" x 6" solid pine stringers, 1/2" solid pine subfloor, 1/2" solid pine underlayment, 1/2" solid pine sheathing, 1/2" solid pine trim.

| SITE DATA | |
|--------------|-----------|
| LOT AREA | 15,822 SF |
| LOT FRONTAGE | 125.00' |
| LOT DEPTH | 125.00' |
| LOT AREA | 15,822 SF |
| LOT FRONTAGE | 125.00' |
| LOT DEPTH | 125.00' |

| ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT | |
|---|---------------------|
| COMPONENT | INSULATION PROVIDED |
| ROOF | 1/2" POLYSTYRENE |
| WALLS | 1/2" POLYSTYRENE |
| FLOORS | 1/2" POLYSTYRENE |
| DOORS | 1/2" POLYSTYRENE |
| WINDOWS | 1/2" POLYSTYRENE |

| ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT | |
|---|---------------------|
| COMPONENT | INSULATION PROVIDED |
| ROOF | 1/2" POLYSTYRENE |
| WALLS | 1/2" POLYSTYRENE |
| FLOORS | 1/2" POLYSTYRENE |
| DOORS | 1/2" POLYSTYRENE |
| WINDOWS | 1/2" POLYSTYRENE |

WINDOWS AND SLIDING GLASS DOORS LIMITED TO NO MORE THAN 10% OF THE TOTAL GLAZING AREA.
SLIDING GLASS DOORS LIMITED TO NO MORE THAN 10% OF THE TOTAL GLAZING AREA.



EXHIBIT

SITE PLAN

SCALE: 1" = 20'-0"

8734 JOHNSTONE ROAD
HIGHLAND FIELDS
BURR RIDGE, ILLINOIS

| GENERAL NOTES | |
|---|--|
| 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. | |
| 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. | |
| 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. | |

FOUNDATION
The foundation shall be constructed in accordance with the following:
Walls: 1/2" concrete, 12" wide, 4" high, 12" on center.
Floors: 1/2" concrete, 12" wide, 4" high, 12" on center.

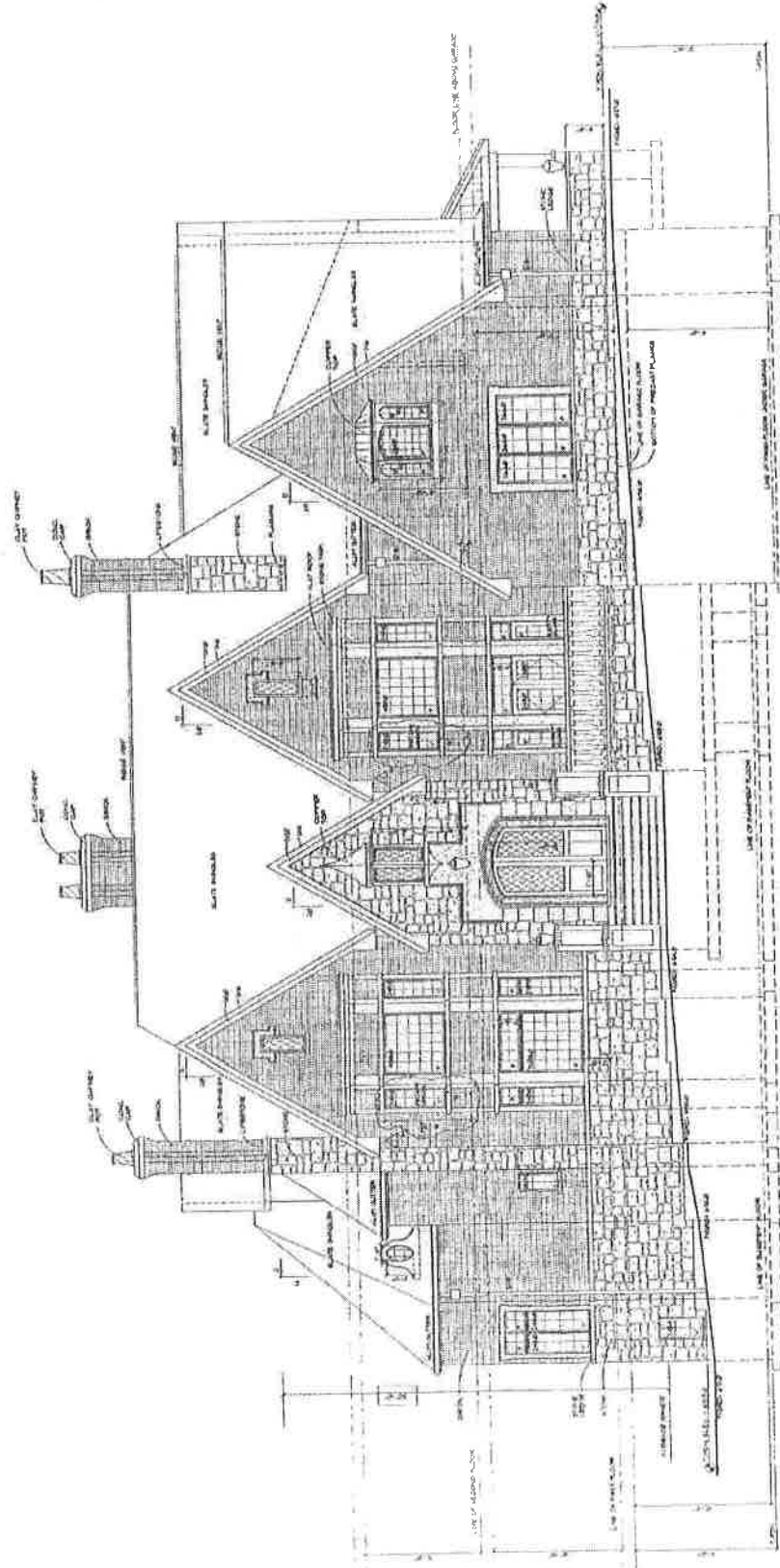
ROOF
The roof shall be constructed in accordance with the following:
Deck: 1/2" solid pine, 12" wide, 4" high, 12" on center.
Insulation: 1/2" polystyrene, 12" wide, 4" high, 12" on center.

WALLS
The walls shall be constructed in accordance with the following:
Walls: 1/2" gypsum board, joint compound, sand and prime, then paint.
Ceilings: 5/8" acoustic tile, 1" x 6" grid.

FLOORS
The floors shall be constructed in accordance with the following:
Floors: 3/4" solid pine flooring, 1" x 6" solid pine joists, 4" x 6" solid pine stringers, 1/2" solid pine subfloor, 1/2" solid pine underlayment, 1/2" solid pine sheathing, 1/2" solid pine trim.

DOORS AND WINDOWS
The doors and windows shall be constructed in accordance with the following:
Doors: 1/2" solid pine, 12" wide, 4" high, 12" on center.
Windows: 1/2" solid pine, 12" wide, 4" high, 12" on center.

ARCHITECT: J. A. MURPHY



PROBATION

PARENTE RESIDENCE
8734 JOHNSTONE ROAD
BURR RIDGE, IL
KAY BUILDERS
630-815-8000

RAM
RAM
RAM

2017年12月
 2017年12月
 2017年12月

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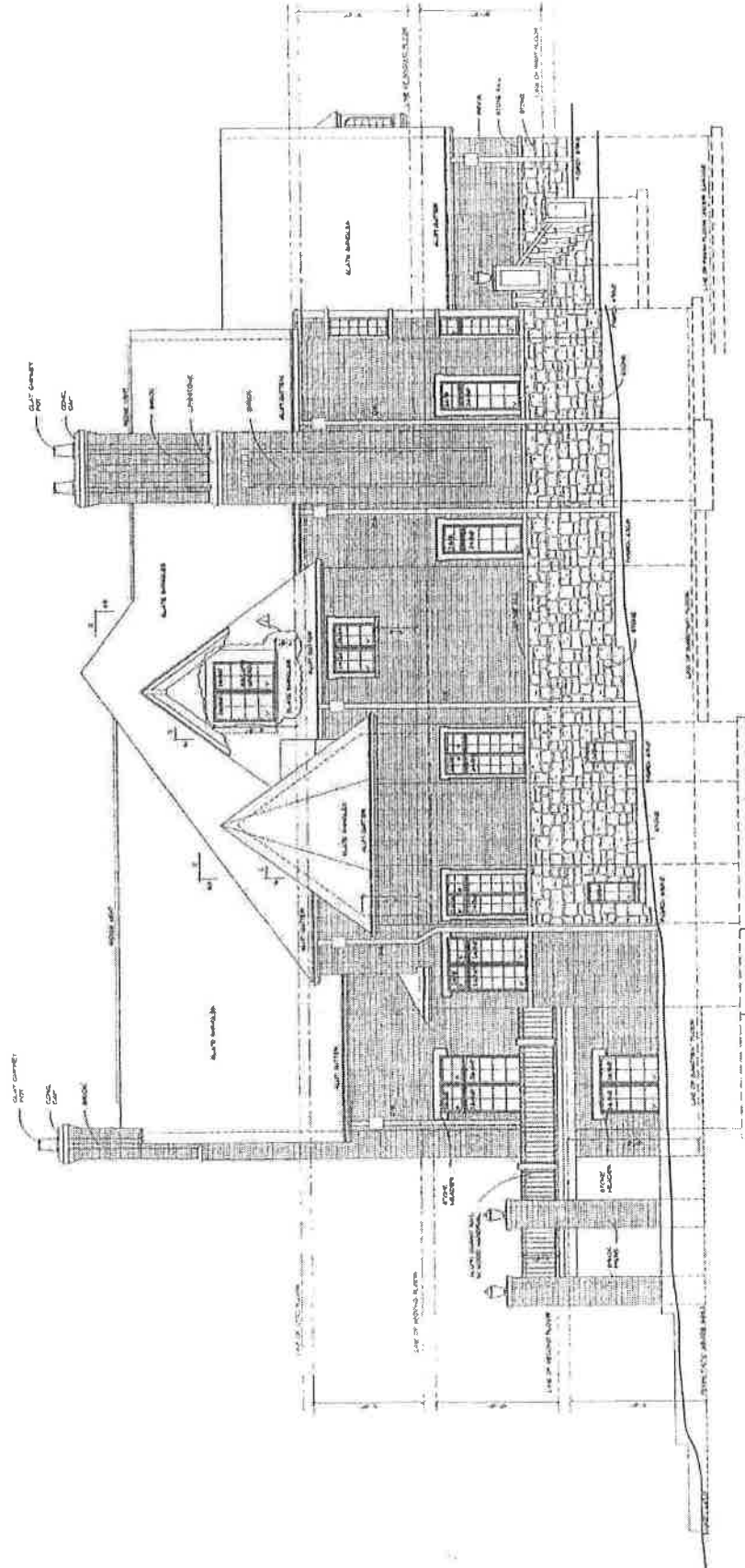
RAM
ARCHITECTS
ARCHITECTS AND ENGINEERS

PARENTE RESIDENCE
8734 JOHNSTONE ROAD
BURN RIDGE, IL
630-918-6000

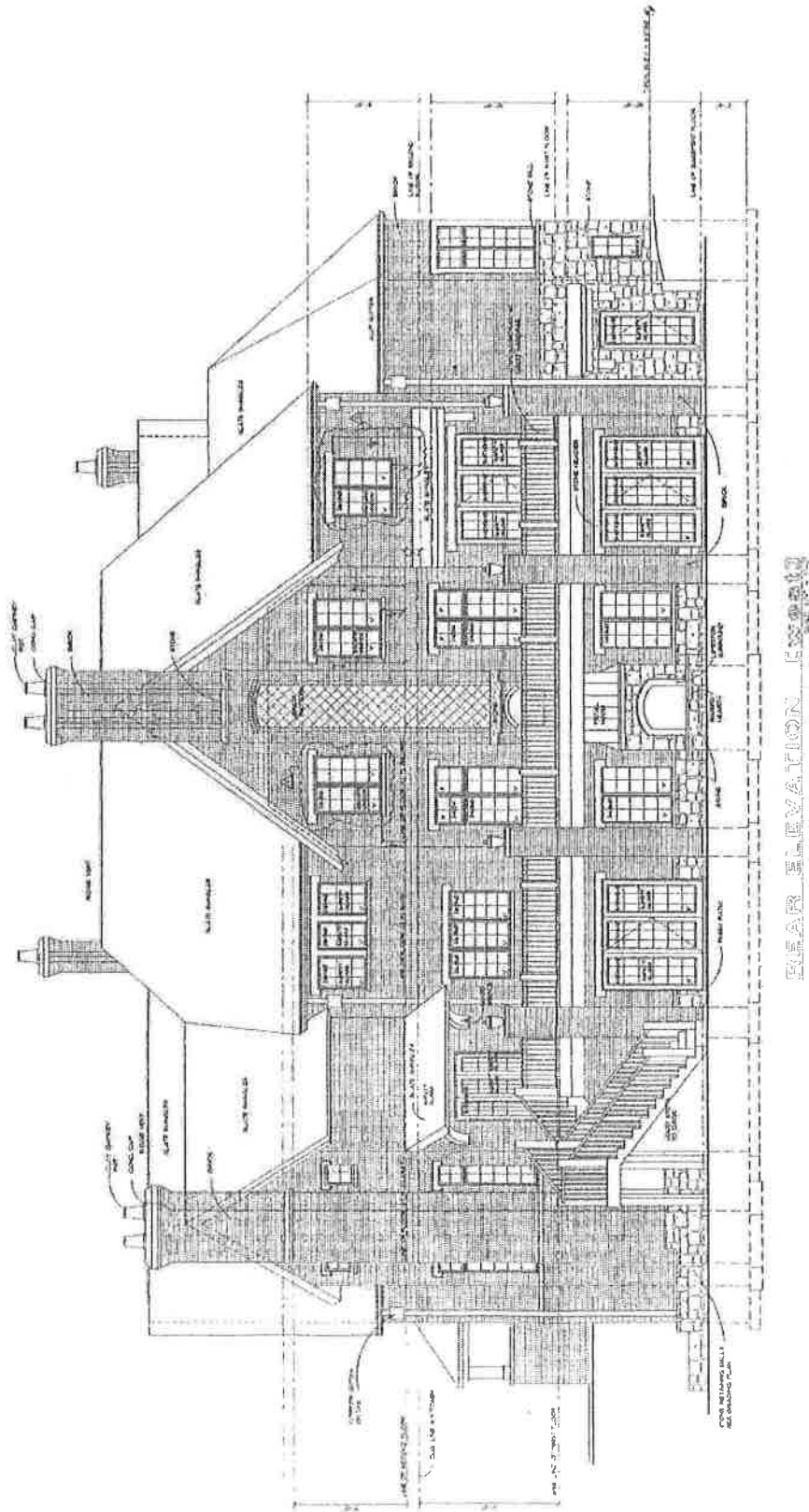
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BY: [signature]
CHECKED: [signature]

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SHEET
3 OF 16



SECTION 1: ELEVATION



RAM

Q. J. 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917,

PARENTS RESIDENCE
1734 JOHNSTONE ROAD
BURN RIDGE, IL
KAY SUDERS
830-815-8000

1000

[illegible]

4 OF 16

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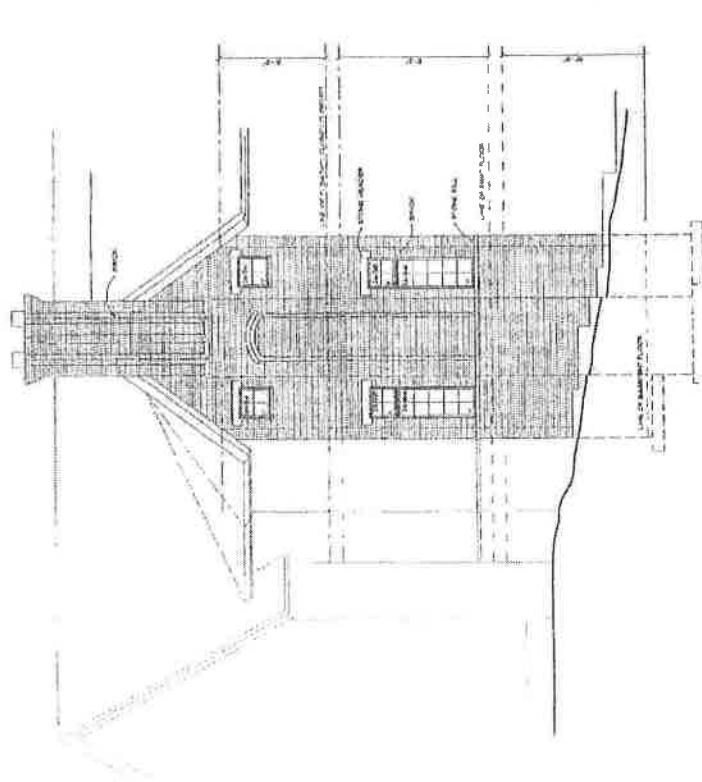
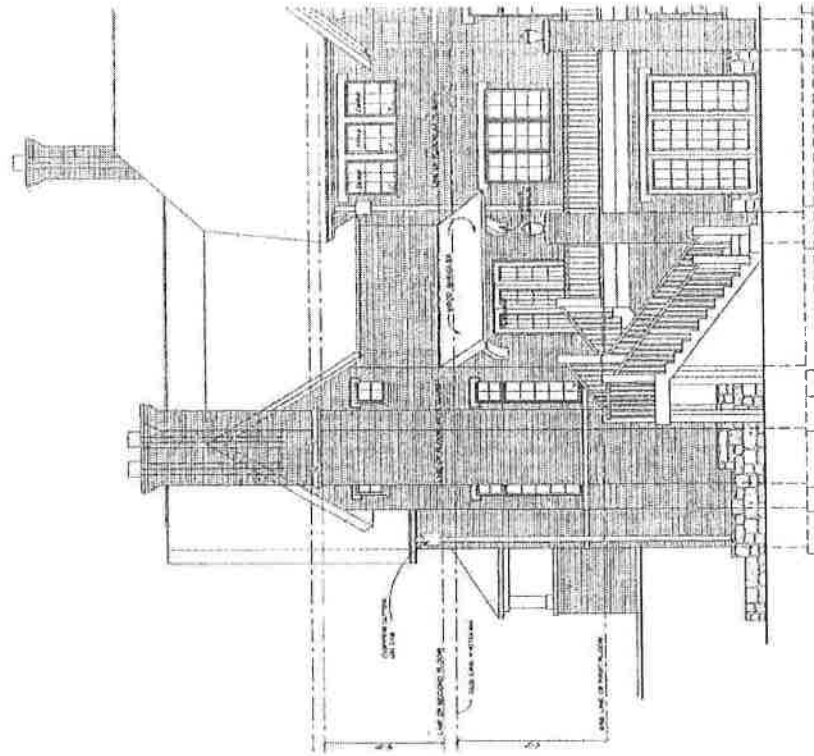
ARCHITECT
KAY BUILDERS
830-875-6000

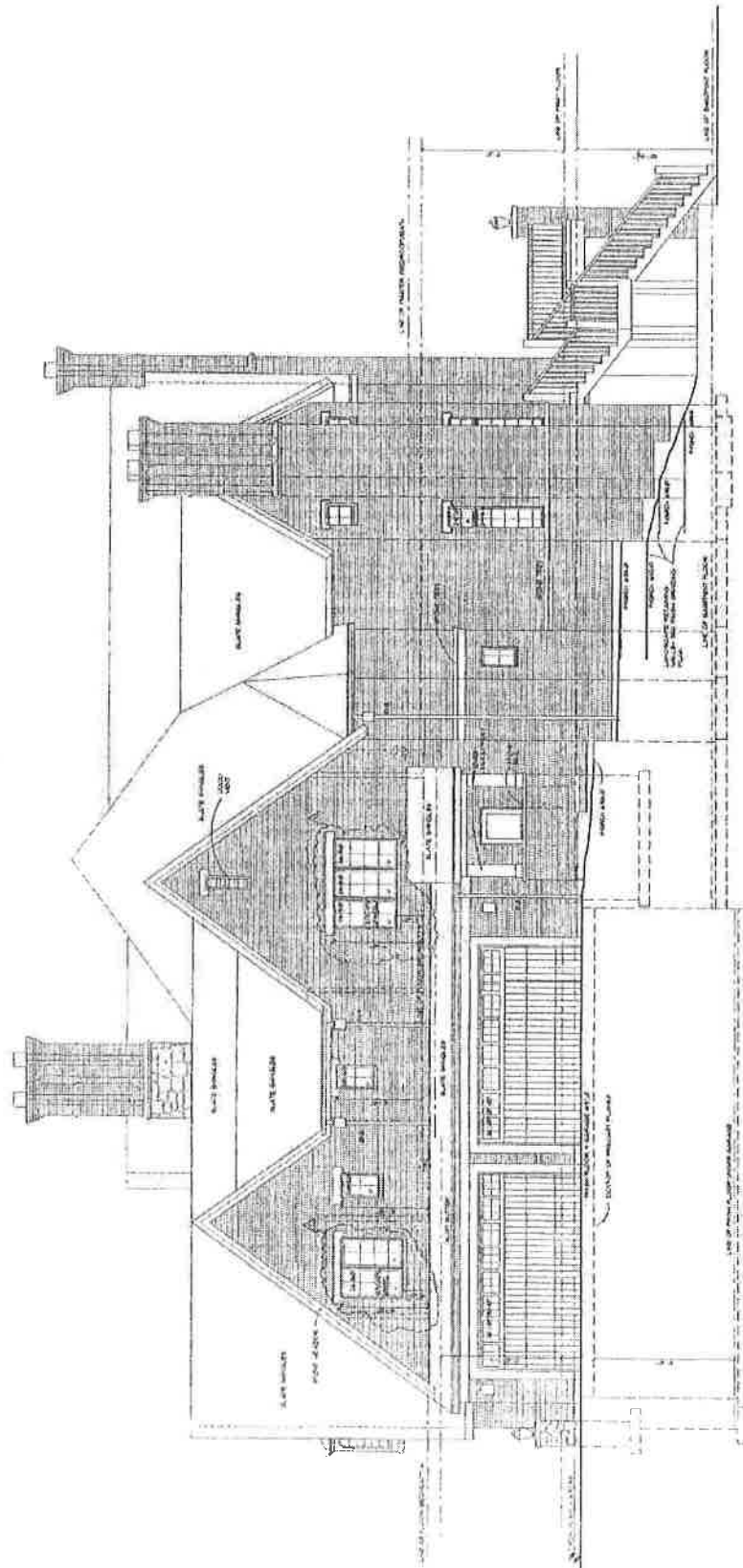
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830-875-6000

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5 OF 18





FRONT ELEVATION

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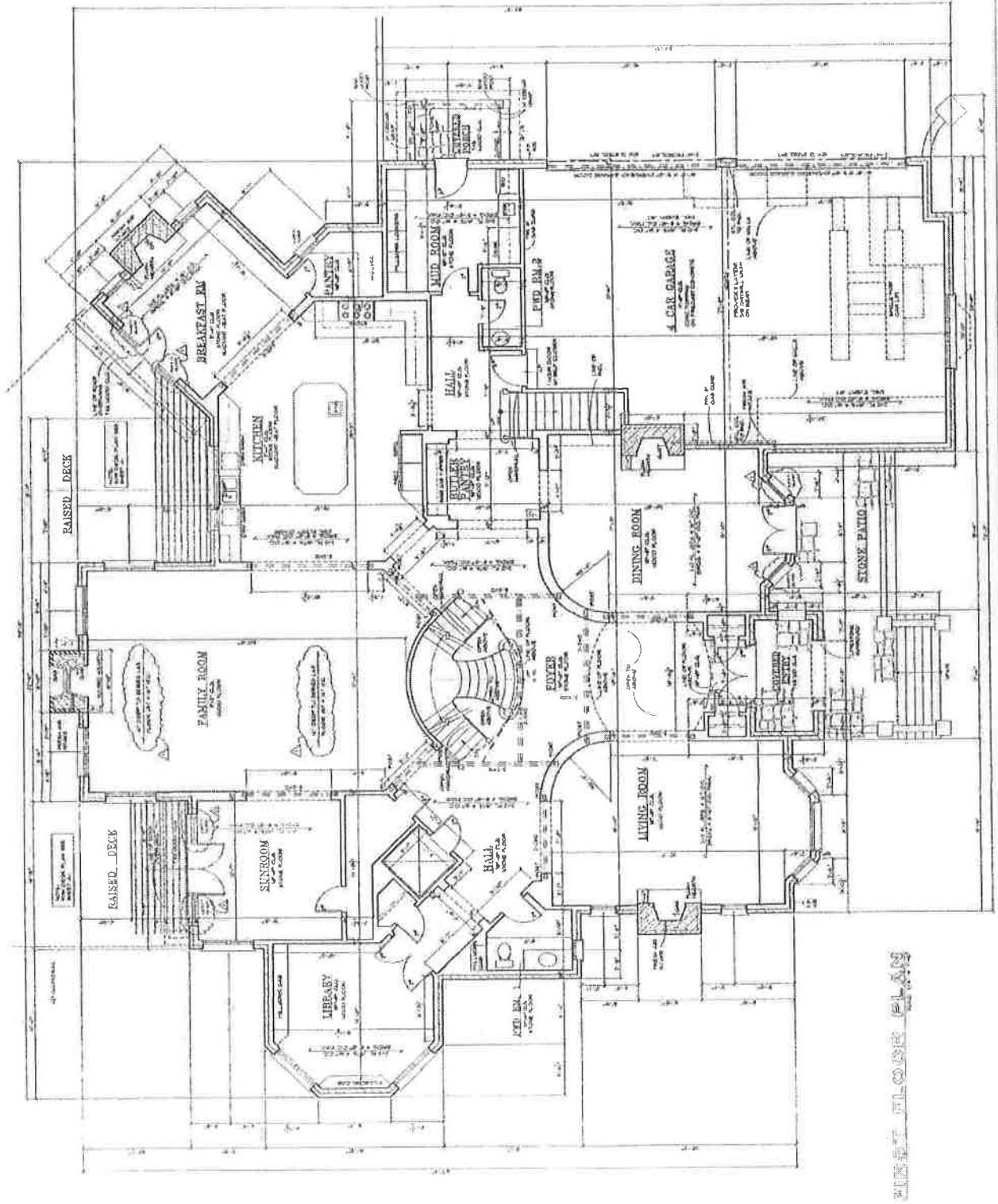
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PARENTE RESIDENCE
8734 JOHNSONE ROAD
KAY BUILDERS
830-815-8000

DATE: 10/15/15
BY: [Signature]
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| NO. | DESCRIPTION |
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| 2 | REAR ELEVATION |
| 3 | SIDE ELEVATION |
| 4 | SECTION |
| 5 | DETAILS |

8 OF 15



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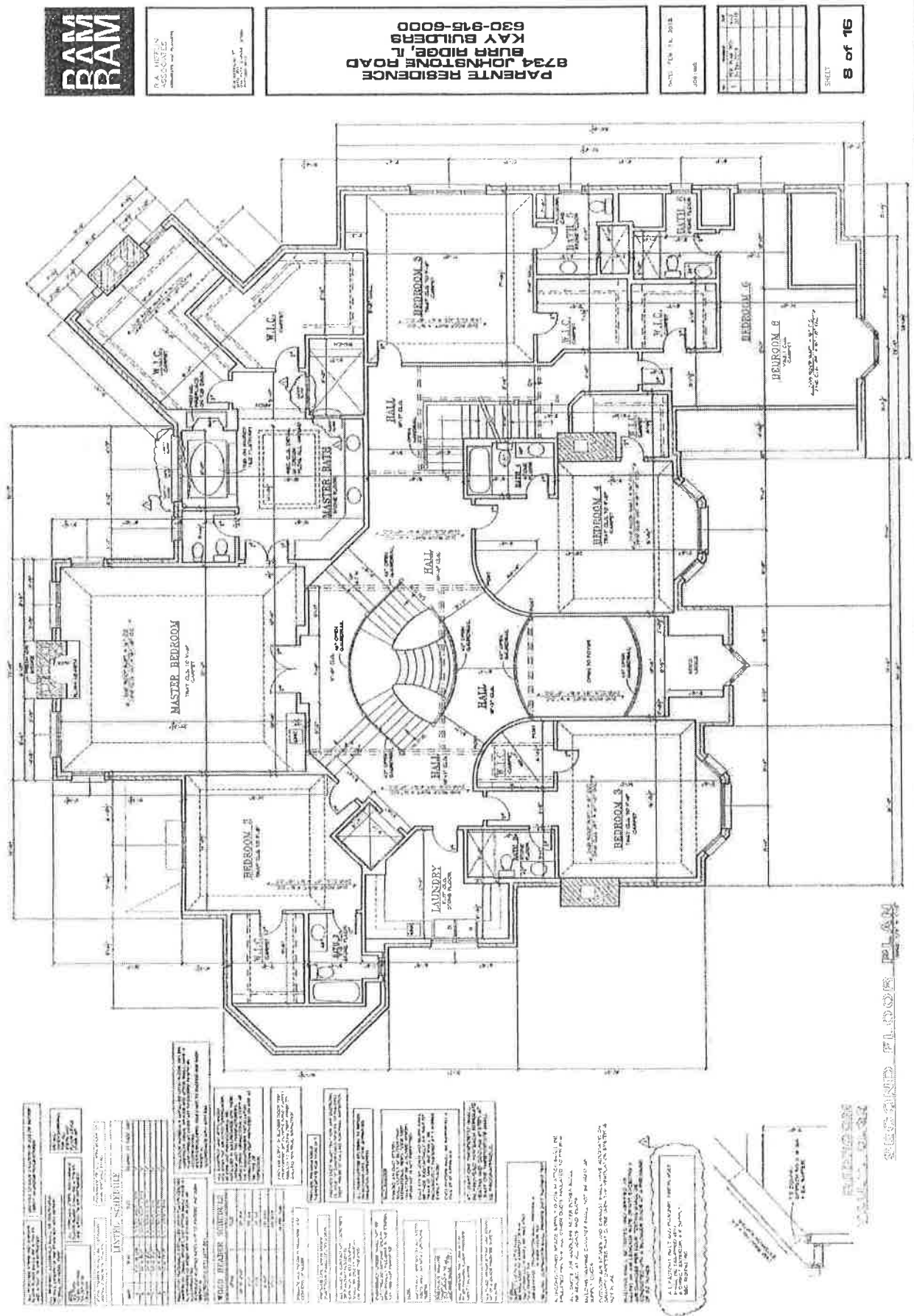
Architectural
FLOOR PLAN
7/12/15

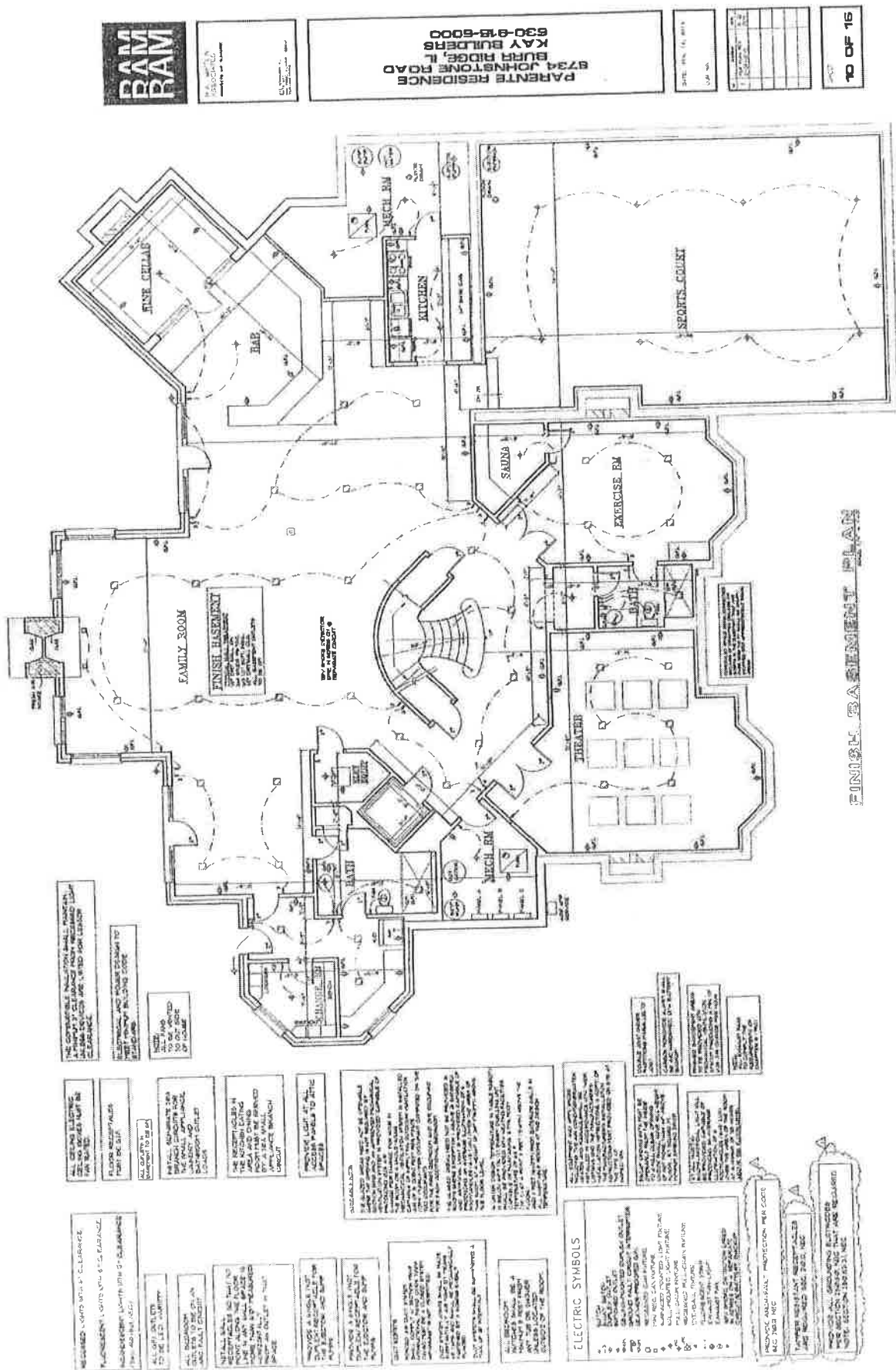
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8734 JOHNSTONE ROAD
KAY BUILDERS
630-815-6000

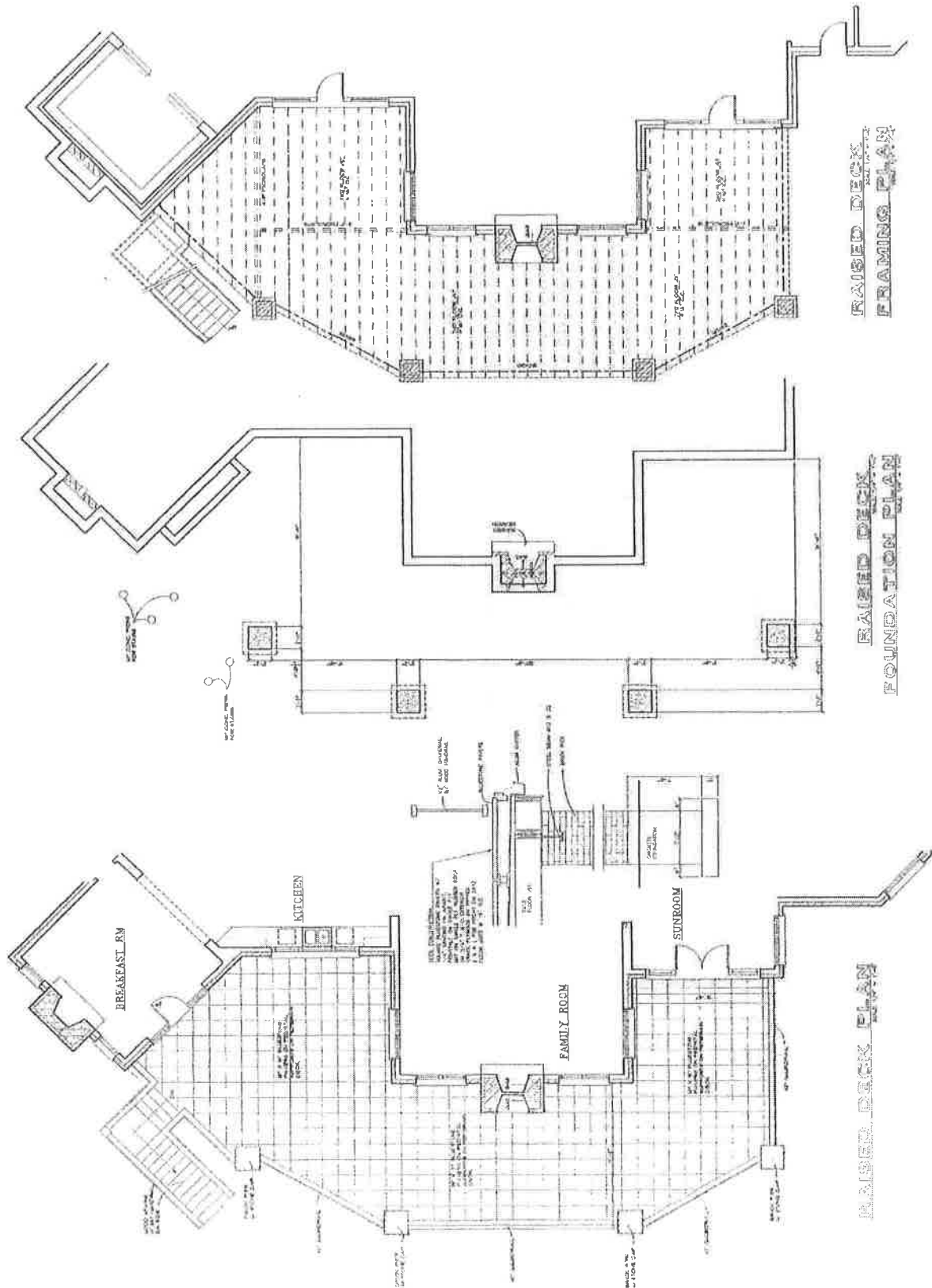
DATE: 07/12/15
DRAWN BY: JLM

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| 99 | 99th FLOOR PLAN |
| 100 | 100th FLOOR PLAN |

7 of 16







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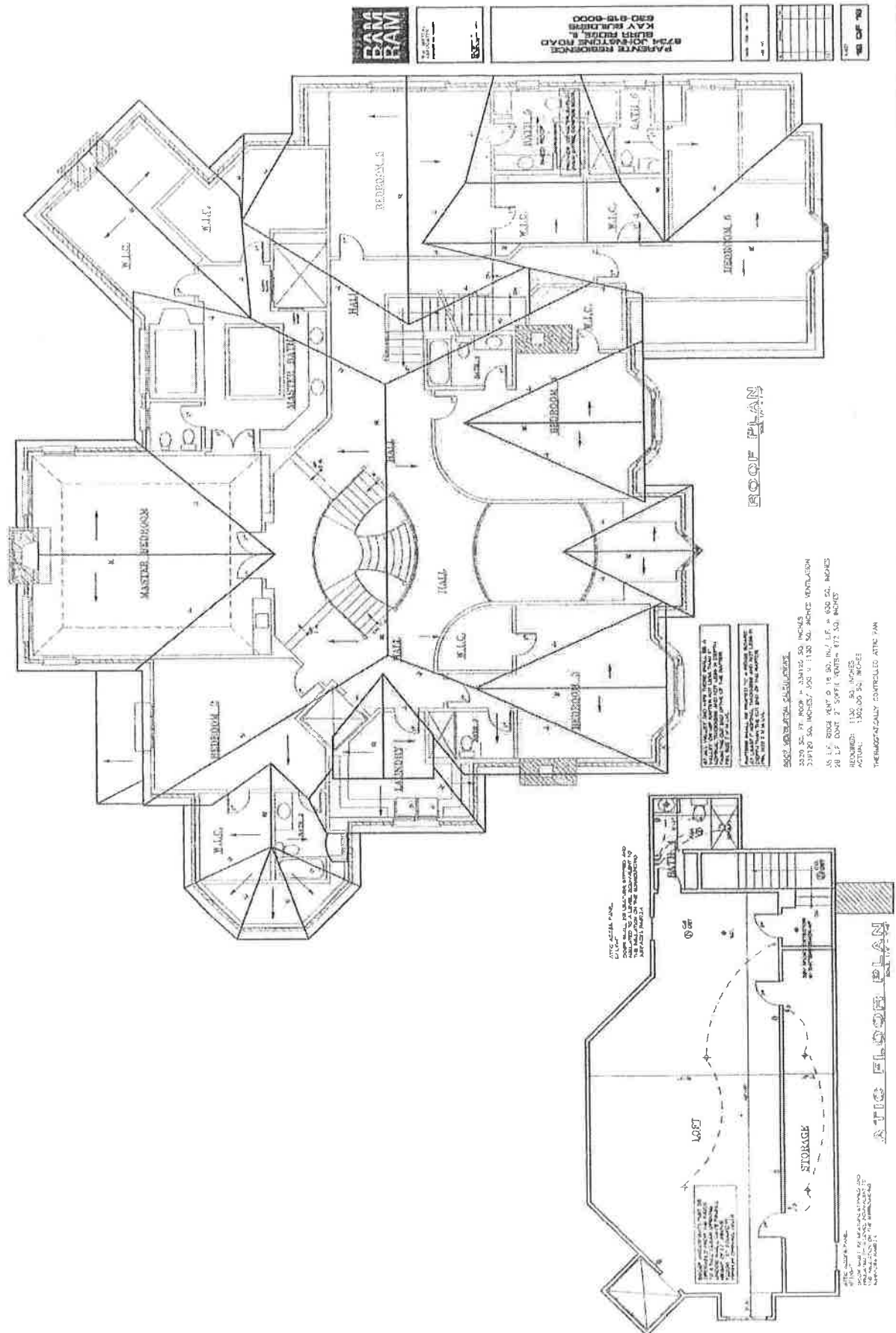
P.A. METZGER
ARCHITECTS
1111 N. LEXINGTON
CHICAGO, IL 60610
TEL: 312.555.1111
FAX: 312.555.1112

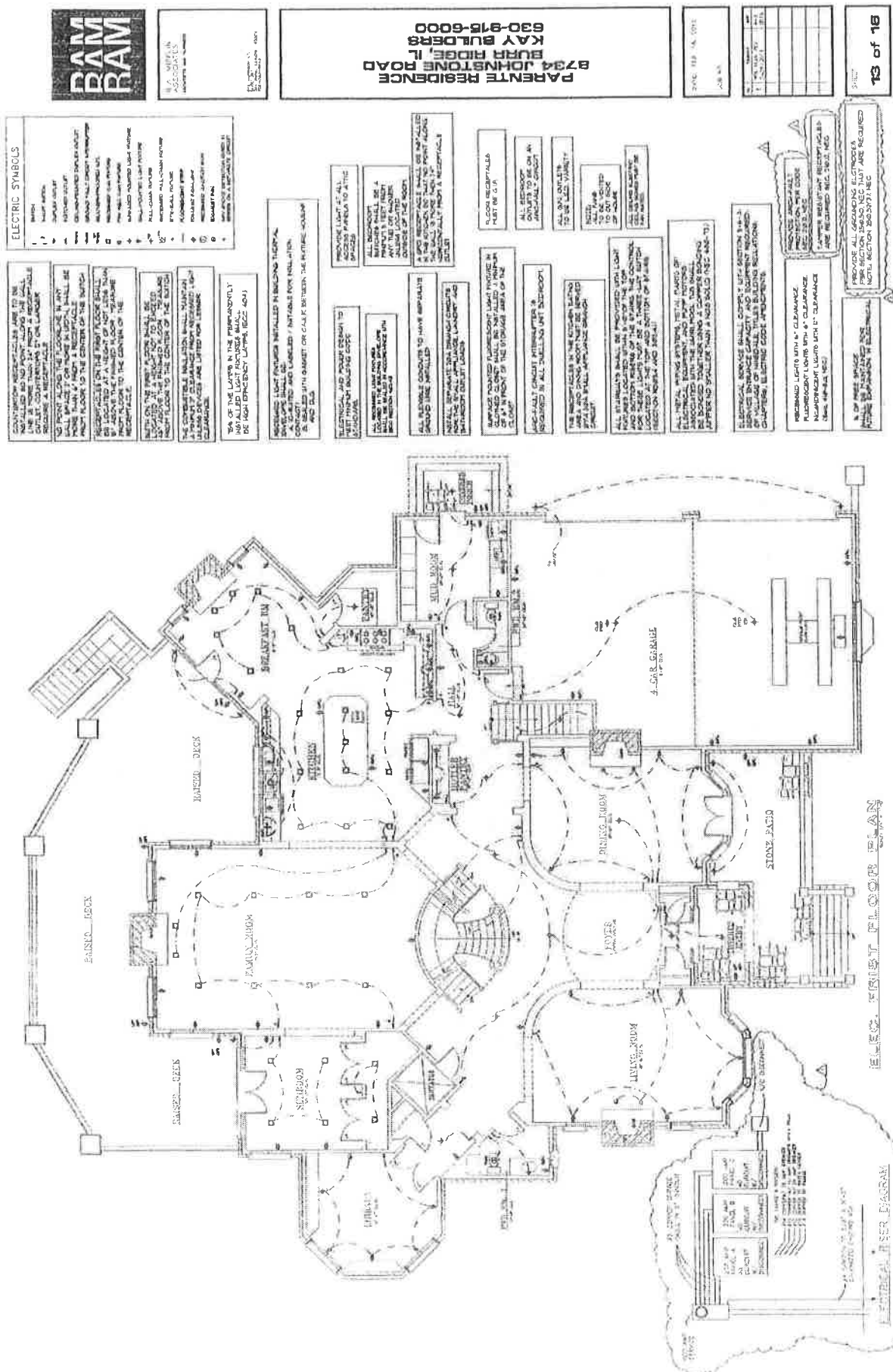
PARENTE RESIDENCE
8734 JOHNSTONE ROAD
KAY RIDGE, IL
630-916-6000

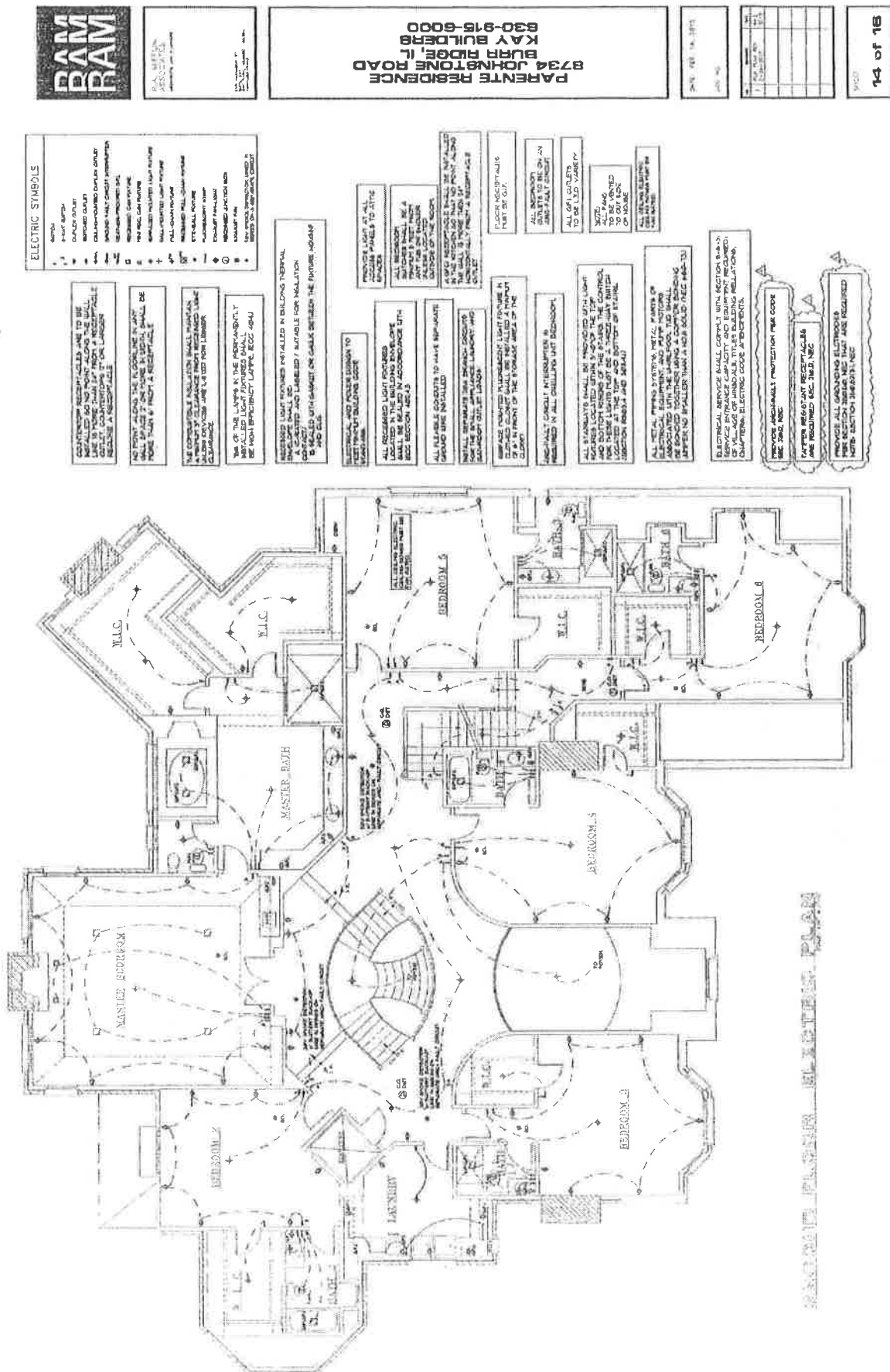
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BY: JMB

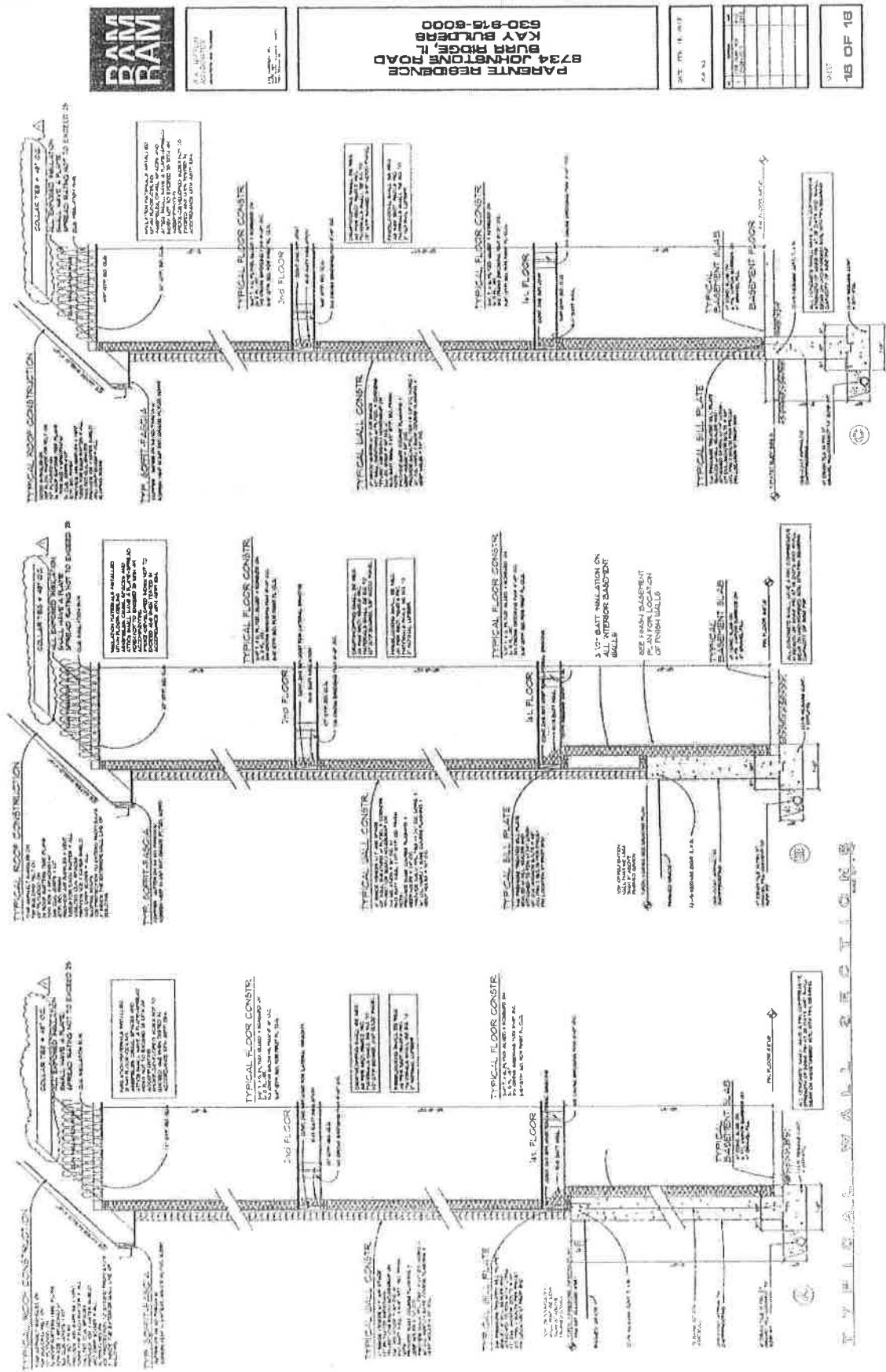
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SHEET
11 of 18







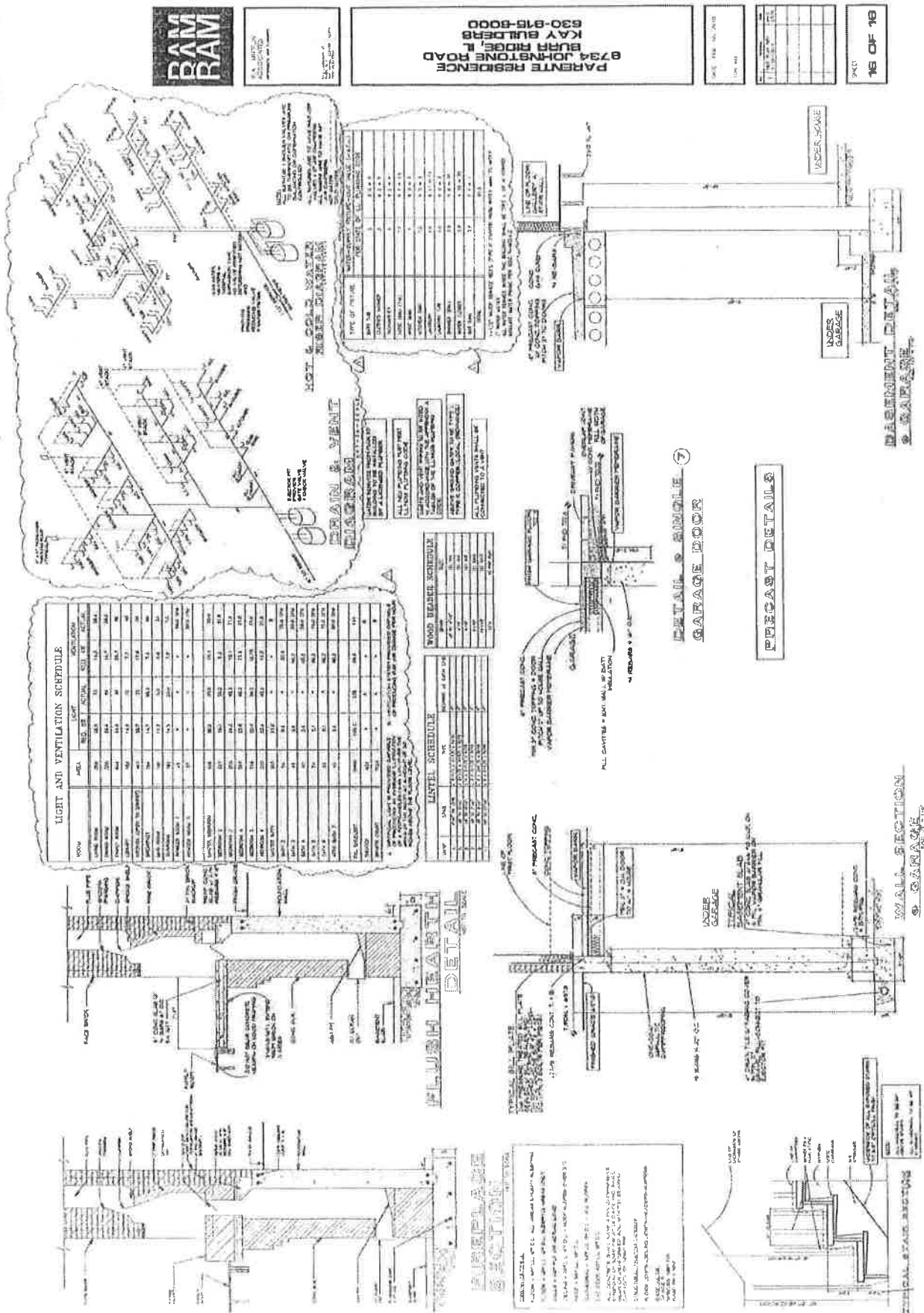


RAM
RAM
RAM

630-816-8000
KAY BUILDERS, LLC
8734 JOHNSTONE ROAD
BURA RIDGE, IL
PARENTS RESIDENCE

DATE: 07/18/15
A. J. N.

18 OF 18



Certificate of Registration



This Certificate issued under the seal of the Copyright Office in accordance with title 17, *United States Code*, attests that registration has been made for the work identified below. The information on this certificate has been made a part of the Copyright Office records.

Maria A. Pallante

United States Register of Copyrights and Director

Registration Number

V Au 1-228-569

Effective Date of Registration:

December 16, 2015

Title

Title of Work: Construction and Permit Drawings for 8734 Johnston Road, Burr Ridge, Illinois

Completion/Publication

Year of Completion: 2015

Author

• Author: Robert A. Mifflin
Author Created: architectural work
Work made for hire: No
Citizen of: United States
Year Born: 1948

Copyright Claimant

Copyright Claimant: Kay Brothers Enterprises, Inc.
P.O. Box 431, Hinsdale, IL, 60572, United States
Transfer statement: By written agreement

Rights and Permissions

Organization Name: Perkins IP Law Goup LLC
Name: Jefferson Perkins
Email: jperkins@perkinsip.com
Telephone: (630)505-1305
Alt. Telephone: (630)505-1310
Address: 4200 Commerce Court
Suite 310
Lisle, IL 60532 United States

Certification

Name: Jefferson Perkins
Date: December 16, 2015



Applicant's Tracking Number: 30256.0002

0000VAU001228690202



Certificate of Registration



This Certificate issued under the seal of the Copyright Office in accordance with title 17, *United States Code*, attests that registration has been made for the work identified below. The information on this certificate has been made a part of the Copyright Office records.

Maria A. Pallante

United States Register of Copyrights and Director

Registration Number

VAu 1-228-614

Effective Date of Registration:
December 16, 2015

Title

Title of Work: Construction and Permit Drawings for 8734 Johnston Road, Burr Ridge, Illinois

Completion/Publication

Year of Completion: 2015

Author

• Author: Robert A. Mifflin
Author Created: technical drawing
Work made for hire: No
Citizen of: United States
Year Born: 1948

Copyright Claimant

Copyright Claimant: Kay Brothers Enterprises Inc.
P.O. Box 431, Hinsdale, IL, 60572, United States
Transfer statement: By written agreement

Rights and Permissions

Organization Name: Perkins IP Law Group LLC
Name: Jefferson Perkins
Email: jperkins@perkinsip.com
Telephone: (630)505-1305
Alt. Telephone: (630)505-1310
Address: 4200 Commerce Court
Suite 310
Lisle, IL 60532 United States

Certification

Name: Jefferson Perkins
Date: December 16, 2015

Applicant's Tracking Number: 30256.0002



2

R.A. MIFFLIN ARCHITECTS
818 HARRISON
OAK PARK, ILLINOIS 60104
708.383.9443

October 12, 2015

To whom it may concern

Re: Copy right assignment
Kay Brother's enterprises
Lot 4
Burr Ridge, IL

This is to acknowledge that during the months leading up to June 7, 2002, I designed and completed, with input from Bob and John Kay, construction and permit drawings for a single family residence to be constructed on Lot 4, Burr Ridge Il., with the common address of 6679 Lee court.

The plans for this home were submitted along with a building application to the Village of Burr Ridge, Il, to be constructed as a speculative for sale property.

Included with my final payment for services, I acknowledged and granted all ownership and copy rights of this home to Kay Brother's Enterprises for their exclusive use.



Robert A. Mifflin

R.A. Mifflin Architects



MEMORANDUM OF COPYRIGHT ASSIGNMENT

MEMORANDUM OF COPYRIGHT ASSIGNMENT made effective December 15, 2015 ("Effective Date"), by and between ROBERT A. MIFFLIN, an Illinois resident having an address of 818 Harrison Street, Suite 201, Oak Park, Illinois 60304, doing business as R. A. Mifflin Architects ("Author"); and KAY BROTHERS ENTERPRISES, INC., an Illinois corporation having an address of P.O. Box 431, Hinsdale, Illinois 60572 ("Assignee").

RECITALS

A. On or about June 7, 2002, Author completed a first pictorial and architectural work entitled "Construction and Permit Drawings for 6679 Lee Court, Burr Ridge, Illinois" (the "First Work"). The First Work consists of 12 sheets of drawings for a residence which was to have been built at the last said address.

B. On June 7, 2002, as included in his acknowledgement that the final payment for his services had been received, Author acknowledged and granted all ownership and copyrights in the First Work to Assignee.

C. On or about April 1, 2015, Author completed a second pictorial and architectural work entitled "Construction and Permit Drawings for 8734 Johnston Road, Burr Ridge, Illinois" (the "Second Work"). The Second Work was derived from the First Work and was done at the direction of Assignee. The Second Work consists of 16 sheets of drawings for a residence to be built at 8734 Johnston Road, Burr Ridge, Illinois.

D. Assignee desires to confirm and memorialize the assignment of the First Work made in June 7, 2002, and to obtain all copyright rights in the First and Second Works.

PROVISIONS

NOW THEREFORE, the parties acknowledge the above premises and further agree as follows.

For one dollar and other good and valuable consideration, the receipt and sufficiency of which Author hereby acknowledges, Author assigns to Assignee:

1. all right, title and interest in and to the copyright in the First Work, to the extent not already assigned to Assignee, and, for the avoidance of all doubt, Author confirms that he previously assigned the copyright in the First Work to Assignee;
2. all right, title and interest in and to the copyright in the Second Work; and



3. all rights of action which, as of the Effective Date hereof, may have accrued for infringement of the copyright in either or both of the First and Second Works.

IN WITNESS WHEREOF, Author has executed this Memorandum of Copyright Assignment on the date first above written.

Robert A. Miffitt


W:\30256 Kay Brothers Enterprises, Inc\30256.0002 -Copyright Registration\MEMORANDUM OF COPYRIGHT ASSIGNMENT.docx

#1A

R.A. MIFFLIN ARCHITECTS
818 HARRISON
OAK PARK, ILLINOIS 60304
708-383-9443

November 13, 2014

Kay Builders

Re: Proposal for design of new single family residence
Mr. and Mrs. Joseph Parente
Lot 69 Highland Fields Subdivision
Burr Ridge, IL

This proposal is for all the necessary revisions that need to be made to an existing set of plans for a single family residence. The original plans were prepared for Kay Builders and designed for their lot at 6679 Lee Court, Burr Ridge. Revisions will be completed, based on this existing set of drawings in order for the proposed house to be constructed on a walk out lot (#69) in the Highland Fields subdivision, Burr Ridge, owned by Mr. and Mrs. Joseph Parente.

As we discussed, the proposed residence will be adapted to the walk out topography grading of Lot 69 in Highland fields subdivision. Building elevations, floor plans, building sections and details will all be revised to reflect the new building site. The drawings will incorporate all changes that have occurred in zoning, building codes and the general ordinances of Burr Ridge, since the completion of the original drawings. Additionally all interior and exterior revisions discussed at a meeting on November 11, between the lot owners and Kay Builders will be incorporated into the plans. Any additional revisions discussed during the completion of the drawing will be added.

Upon approval of a preliminary plan, which will incorporate all the revisions requested by the home-owners, I will proceed with the final construction drawings complying with all applicable building and zoning requirements, along with specifications and details necessary for bidding, obtaining a building permit and construction. During this phase we can arrange any number of meetings to review the progress of the drawings and the evolution of details, floor plans, interior and exterior elevations.

Included in my proposal will be prints of drawings for review during the design phase. All Additional printing of drawings for bidding, building permits or outside designers will be invoiced separately at the rate of cost plus 10%.

FEE



1/11/14

18

The professional services listed above will be performed for a fixed fee:

| | |
|---|-------------|
| Fixed fee | \$10,000.00 |
| An initial payment | \$ 3,500.00 |
| Start of final construction drawings | \$ 4,000.00 |
| Payment at completion of drawing for permit submittal | \$ 2,000.00 |
| Final payment at issue of permit | \$ 500.00 |

The following items are not part of this agreement: civil design and drawings, plot of survey, topographic plans; civil design and drawings; soil testing; structural design based on standard spread footings and 3000 PSI soil; EPA investigation of site; site plumbing; fire protection drawings and design, if required; construction observation; preparation of as-built drawings after completion; redraw of plans after completion in order to reduce construction cost; detail millwork design; meetings and coordination with contractors, interior designers, lawyers, building/village officials; obtaining bids, or building variance; detailed construction drawings for millwork cabinets; printing of drawings; landscape design, renderings.

Additional Compensation:

Additional services provide by RAM as described above will be billed at the rate of time expended and the expense incurred at the following rate:

| | |
|----------------------------------|--------------|
| Architect | \$ 125.00/hr |
| Technical Associate | \$ 60.00/hr |
| Secretarial/office support | \$ 30.00/hr |

I trust these terms are agreeable. I look forward to working with you on this project, and again thank you for the opportunity to assist you in your building efforts.

Sincerely
R.A. Miffin Architects

Robert A. Miffin



12/9/14

7/7/2015

Gmail - Kay Bros

5



John kajmowicz <johnkay54@gmail.com>

Kay Bros

1 message

John kajmowicz <johnkay54@gmail.com>

Tue, Jul 7, 2015 at 10:14 AM

To: "jp@pninjurylaw.com" <jp@pninjurylaw.com>

Cc: "bobkay54@gmail.com" <bobkay54@gmail.com>

Joe please be advised that after emails and phone calls with no response . Kay Bros Ent. is no longer involved in any of your current or future building efforts .Also be advised that the current plans you have in your possession for 8734 Johnston Road ,Burr Ridge ,IL are the sole property of Kay Bros Ent. and any use ,alteration or reproduction of the these drawings and plans without written consent from Kay Bros Ent. is strictly prohibitive and will be strongly enforced .Feel free to call and discuss .Kay Bros Ent.





Subject: Fw: Re: final payment for revisions to Kay builder plans

3 A

John kajmowicz <johnkay54@gmail.com>

Fw: Re: final payment for revisions to Kay builder plans

3 messages

ramiffllnld@netzero.net <ramiffllnld@netzero.net>
To: johnkay54@gmail.com

Mon, Aug 17, 2015 at 12:27 PM

----- Forwarded Message -----

From: Ron Vari <ron.rvariandassociates@gmail.com>
To: "ramiffllnld@netzero.net" <ramiffllnld@netzero.net>
Subject: Re: final payment for revisions to Kay builder plans
Date: Mon, 17 Aug 2015 10:15:47 -0500

Hi Bob spoke to Joe he indicated that he would like a release from the Kay brothers indicating that Joe now has ownership of the prints and he would be happy to pay the balance.

Please let me know talk soon.

Thank you,

Ron Vari

Sent from my iPhone

On Aug 16, 2015, at 9:47 PM, "ramiffllnld@netzero.net" <ramiffllnld@netzero.net> wrote:

Please note: forwarded message attached

From: "ramiffllnld@netzero.net" <ramiffllnld@netzero.net>
To: ramiffllnld@netzero.net
Subject: final payment for revisions to Kay builder plans
Date: Mon, 17 Aug 2015 02:43:58 GMT

Is anybody going to pay this?

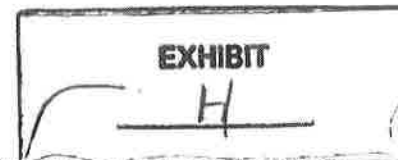
Want to place your ad here?

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www.adsonar.com

<parenti invoice.docx>

ramiffllnld@netzero.net <ramiffllnld@netzero.net>
To: johnkay54@gmail.com

Mon, Aug 17, 2015 at 12:36 PM



3 B

Forwarded Message -----

From: Ron Vari <ron.rvariandassociates@gmail.com>
To: "ramiffinltd@netzero.net" <ramiffinltd@netzero.net>
Subject: Re: final payment for revisions to Kay builder plans
Date: Mon, 17 Aug 2015 06:48:57 -0500

Good morning Bob, hoping all is well.

I will forward along...will relay any response as quickly as I hear.

Thank you,

Ron Vari

Sent from my iPhone

On Aug 16, 2015, at 9:47 PM, "ramiffinltd@netzero.net" <ramiffinltd@netzero.net> wrote:

Please note: forwarded message attached

From: "ramiffinltd@netzero.net" <ramiffinltd@netzero.net>
To: ramiffinltd@netzero.net
Subject: final payment for revisions to Kay builder plans
Date: Mon, 17 Aug 2015 02:43:58 GMT

Is anybody going to pay this?

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<parenti invoice.docx>

Johnkajmowicz <johnkay54@gmail.com>
To: John kajmowicz <johnkay54@gmail.com>

Mon, Aug 17, 2015 at 12:41 PM

Sent from my iPhone

Begin forwarded message

From: "ramiffinltd@netzero.net" <ramiffinltd@netzero.net>
Date: August 17, 2015 at 12:27:29 PM CDT
To: johnkay54@gmail.com
Subject: Fw: Re: final payment for revisions to Kay builder plans

[Quoted text hidden]

4

10/15/2015

final payment for revisions to Kay bulder plans - johnkay54@gmail.com - Gmail

miff

Gmail

Move to inbox

More

COMPOSE

final payment for revisions to Kay bulder plans

Inbox x

Inbox (64)

Starred

Important

Sent Mail

Drafts (56)

[Gmail] All Mail

john kay

Kaybrothershomes

Kaybrothershomes@

Melaniekajmowicz@

parents



John

ramifm1ld@netzero.net <ramifm1ld@netzero.net>

to me

Ron,

The \$500.00 is the balance remaining for revisions as requested by Joe to existing Kay bulder plans. The changes are complete and a permit was issued. The final payment is due.

As far as Joe's request for a release of the plans from the Kay brothers, they are the property of Kay brothers. I have nothing to say about that. You should contact them regarding the rights to the plans.

Thank you,

Robert Mifflin

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www.adnexus.com

John kajmowicz <johnkay64@gmail.com>

to bobkay54

Sent from my iPad

Begin forwarded message:

From: "ramifm1ld@netzero.net" <ramifm1ld@netzero.net>

Date: August 18, 2015 at 5:44:53 PM CDT

To: johnkay64@gmail.com

Subject: final payment for revisions to Kay bulder plans

No Hangout Contacts

Final payment for

John kajmowicz

Here's Bob mifflin's response to Ron via email Sent from my iPad Begin for...

EXHIBIT

#6A



MOMKUS MCCLUSKEY LLC

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Writer's Direct Phone: 630-434-0414
Writer's Fax: 630-434-0444
Writer's E-mail: pboland@momlaw.com

July 17, 2015

Via Certified Mail -- Return Receipt Requested

Joseph D. Parente
8744 Johnston Road
Burr Ridge, Illinois 60527

Re: Kay Brothers Enterprises Inc.'s Plans and Outstanding Amounts Owed
Our File No. 7181.150593

Dear Mr. Parente:

We represent Kay Brothers Enterprises Inc. We write this letter to demand that you make payment of \$4,500.00 to our client, Kay Brothers Enterprises Inc. and that you return all copies of the architectural plans ("Plans") that are in your possession, which are owned by our client and created by R.A. Mifflin Architects.

Recently, you were in negotiations with our client for the construction of a custom built home at 8734 Johnston Road, Burr Ridge, Illinois ("Property"). In furtherance of those negotiations and acting upon your direction, our client installed a construction fence around the Property at the cost of \$3,500.00 plus additional permitting costs of \$1,000.00 necessary for the construction to occur at the Property, and costs for waste and surveying totaling \$754.00. Enclosed herein as Group Exhibit A are copies of the invoices for the construction fence, waste services, surveyor's expenses and a receipt for \$1,000.00 from the Village of Burr Ridge.

Our client is the exclusive owners of the Plans that it commissioned for the construction at your Property. The Plans are our client's personal, copyrighted property. Our client has learned that you acquired the Plans from the Village of Burr Ridge and wrongfully continue to possess the Plans. Our client's rights and interests in the Plans are exclusive, and the Plans may not be used without their consent. You are not authorized to use or possess the Plans or provide them to any third parties.

As you know, the Plans themselves have a value of greater than \$50,000.00 and the profits to be gained from using the Plans exceed \$500,000.00. If you choose to retain the Plans and use the Plans for any

1001 Warrenville Road, Suite 500, Lisle, IL 60532 • Tel: 630.434.0400 • Fax: 630.434.0444 • www.momlaw.com
221 North LaSalle Street, Suite 2050 • Chicago, IL 60601 • Tel: 312.345.1955 • Fax: 312.419.1346 • www.momlaw.com

EXHIBIT

210/0102

CANON

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6 B



Joseph D. Parente

July 17, 2015

Page 2 of 2

construction in the future, our client is prepared to act swiftly and with all legal recourse to ensure that its interests are protected and that our client recoups all possible damages, including attorneys' fees.

Our client demands that you return the Plans in your possession immediately to the attention of the undersigned. In the event you provided the Plans to a third party, we demand that you provide us the name and contact information of that third party and that you instruct that third party to return or destroy all copies of the Plans. Please carbon copy us on any such communication to a third party.

In addition to the above demand, our client demands payment for the \$5,254.00 of construction and permitting costs incurred on your behalf. Within 7 days from the date of this letter, please remit payment payable to our client in the form of certified funds and addressed to the undersigned attorney.

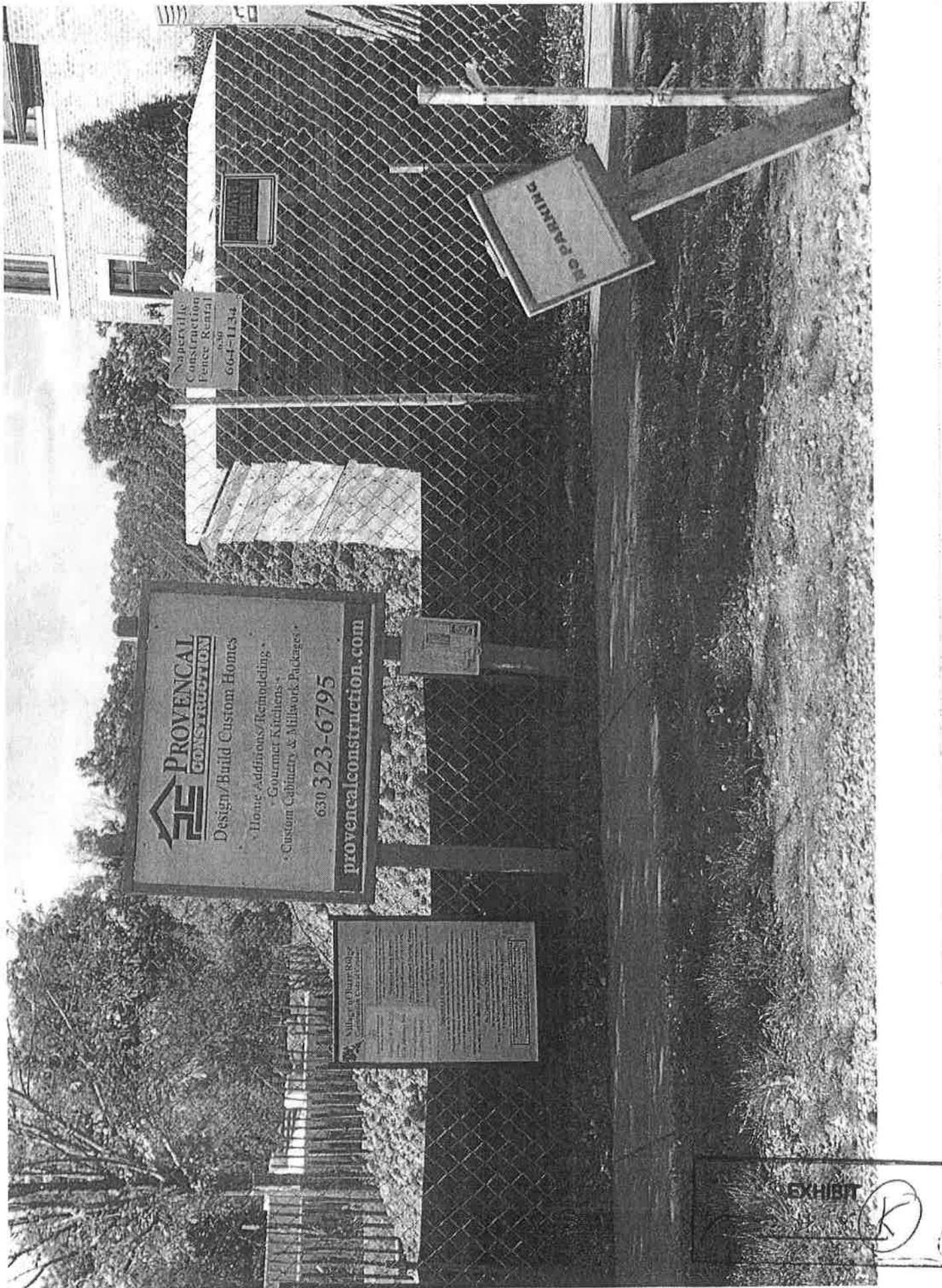
Please contact me if you have any questions or concerns. You may reach me at 630-434-0414 or by e-mail at pboland@momlaw.com.

Very truly yours,

MOMKUS MCCLUSKEY, LLC

By: Patrick R. Boland

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EXHIBIT

(K)



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ge of Burr Ridge
uction Code of Conduct

All persons who enter the City of Burr Ridge must adhere to the following rules and regulations. Violations of these rules and regulations may result in fines and/or imprisonment.

Permitted Work Hours:

Monday to Friday: 7 AM to 5 PM
Saturday & Sunday: 8 AM to 4 PM

Obey Traffic and Parking Rules:

For all vehicles, drivers must yield to pedestrians.
Obey all traffic signs and signals.
Obey all parking rules and regulations.
Obey all rules and regulations for children.

Village of Burr Ridge Construction Code of Conduct



VILLAGE OF BURR RIDGE
Building & Use Permit

Permit # 15-035

Site Address:

8734 Johnston Rd.

Contractor:

Provincial Construction

Phone: (630) 323-6768

Date Issued: June 2, 2015

All construction operations and personnel must comply with the rules and regulations detailed in Village of Burr Ridge Building Ordinance and as summarized below.

Permitted Work Hours:

- Monday to Friday: 7 AM to 7 PM
- Saturday & Sunday: 8 AM to 5 PM

Obey Traffic and Parking Rules:

- Do not block streets, driveways or sidewalks.
- Do not park on parkways.
- Observe all speed limits & drive defensively.
- Watch for children.

Maintain a Clean Work Area:

- Keep all work within the limits of the construction fence.
- Properly maintain construction fence and erosion control measures.
- Do not dump materials on the street, parkway, or sidewalk.
- Remove mud and debris from streets and sidewalks immediately.
- If necessary, rinse vehicles before leaving site.
- Do not wash concrete, mud or other waste into streets or storm sewers.
- Keep all trash and debris in an approved container with a closed lid.

Be Courteous to Neighbors:

- Do not trespass on neighboring property.
- Keep noise levels to a minimum. Keep radio volumes low.
- Use the on-site portable sanitation facility.

VIOLATIONS SUBJECT TO STOP OF WORK, FINES, OR REVOKED PERMIT

For Assistance or to report Violations, Please Call:
Mon. - Fri. 8 AM to 5 PM: (630) 654-8181
Non-Business Hours (Police): (630) 323-8181

